

Board of Zoning Appeals Department of Planning, Housing, and Zoning

COUNTY COMMISSIONERS HEARING ROOM 400 HIGH STREET CHESTERTOWN, MARYLAND

AGENDA September 23, 2024 5:00 p.m.

APPLICATIONS FOR REVIEW

24-42 William and Linda Joyce – Variance – Steep Slope and Expanded Buffer
29349 Glencoe Road, Kennedyville – Second Election District – Zoned Critical Area Residential (CAR)

MINUTES

August 19, 2024

ADJOURN

Members of the public are welcome to attend meetings in person or via conference call.

Public participation and audio-only call-in number:

- 1. Dial 1-872-239-8359
- 2. Enter Conference ID: 178 565 475#

PHONE PARTICIPATION – Members of the public are asked to mute their phones/devices, until the Chair opens the floor for comment. Please note that phone participation is dependent on service carriers and internet providers, this option may not be available for all meetings or be available during the entire meeting. In-person attendance is always recommended.

ONLINE VIEWING — Please note that although many meetings are recorded, the availability of video online is dependent on internet availability and functionality. Some members of the public may be able to watch a live video feed and/or view the video after the meeting at the County's YouTube channel at https://www.youtube.com/@kentcountygovernment2757.

PROTOCOL – Meetings are conducted in open session unless otherwise indicated. All or part of the meetings can be held in closed session under the authority of the MD Open Meetings Law by vote of the members. Breaks are at the call of the Chair. Meetings are subject to audio and video recordings. All applicants will be given the time necessary to assure full public participation and a fair and complete review of all projects. Agenda items are subject to change due to cancellations.



Planning Commission Department of Planning, Housing, and Zoning

September 6, 2024

Dr. Al Townshend Kent County Board of Appeals 400 High Street Chestertown, MD 21620

RE: 24-42 William and Linda Joyce – Steep Slope and Buffer Variance

Dear Dr. Townshend,

At its September 5, 2024, meeting, the Kent County Planning Commission reviewed the application of William and Linda Joyce, requesting a variance to construct an ADA compliant carport, retaining wall, driveway, and wooden walkway on a slope greater than 15% and in an expanded buffer within the Critical Area. The 2.81-acres property is located at 29349 Glencoe Road, Kennedyville, in the Second Election District and is zoned Critical Area Residential (CAR).

Following discussion, the Planning Commission voted to make a favorable recommendation for the variance. The decision was based on the following findings of fact:

- The Kent County Health Department has no objections to the application.
- There is no known detriment to adjacent or neighboring properties or change in the character of the neighborhood will be caused by the proposed variance.
- The proposal is consistent with the Comprehensive Plan.
- The practical difficulty, which has not been created by the applicants, is created by the steep slopes around the main house, including the ravine on the east side of the property causing the buffer expansion.
- There is no known adverse impact to water quality, fish, wildlife, or plant habitat will be caused by the proposed variance.
- The application has been sent to the Critical Area Commission for review.
- The proposed variance would provide for continued, safe, and ADA accessible use of the property.
- Strict application of the ordinance would produce an unwarranted hardship.
- This hardship is not known to be shared by other properties within the vicinity or as a common feature in the zoning district.
- A literal interpretation of the ordinance would deprive the applicants of the rights commonly enjoyed by other properties in similar areas within the Critical Area of Kent County.
- The variance also would not confer upon the applicants any special privilege that would be denied to other lands or structures.

Sincerely,

Lanis J. Hickman

Joe Hickman

Chair

FJH/mc

cc: Miles Barnard, ASLA RLA, Principal, South Fork Studio Landscape Architecture, Inc.

Wes Moore *Governor* Aruna Miller *Lt. Governor*



Erik Fisher
Chair

Katherine Charbonneau
Executive Director

STATE OF MARYLAND CRITICAL AREA COMMISSION CHESAPEAKE AND ATLANTIC COASTAL BAYS

September 13, 2024

Dr. Albert Townshend Kent County Board of Appeals 400 High Street Chestertown, MD 21620

Re: Joyce Variance

Dear Dr. Townshend,

Our office has received information on the above referenced variance request and have been in contact with the County regarding permitted structures on-site. The applicants, William and Linda Joyce, are requesting a variance to disturb steep slopes and the expanded Buffer at 29349 Glencoe Road in Kennedyville. The 2.81-acre property is waterfront to Sassafras River, located in the Second Election District, and is zoned Critical Area Residential (CAR). The property is located entirely within the Critical Area on lands designated Limited Development Area (LDA) and a portion of the property is within the 100-foot Critical Area Buffer, which has been expanded for steep slopes. The property is currently improved by a principal dwelling unit with wooden decks, a screen porch, and patio; detached garage; gravel driveway and parking area; boat shed and paver walkway to the boat shed; pier; boat ramps and a gravel access road to the boat ramps. The gravel access road, boat shed, paver walkway to the boat shed, a portion of the driveway, and approximately half of the principal dwelling unit are within the expanded Buffer.

This variance request is for the construction of an ADA compliant carport, retaining wall, driveway, and ADA compliant wooden ramp all within the expanded Buffer. These improvements would result in approximately 1,425 square-feet of permanent disturbance within the Buffer and the removal of three trees, one of which is diseased/dying. The application materials also show the removal of the gravel access road in the expanded Buffer.

If this variance were approved, overall lot coverage on the property would increase from approximately 15,222 square-feet to approximately 16,748 square-feet. This proposed lot coverage would still be within the amount allowed for a lot of this size. Based on the application materials, our office understands the applicants' need for the proposed improvements in order to make their property more handicap accessible.

Based on the application materials and conversations with the County regarding permitted structures on this property, our office has the following comments:

- 1. In order to grant this variance request, the Board of Appeals must find that all variance standards have been met.
- 2. If the Board grants this variance, the required mitigation ratio for the proposed improvements is 3:1 for all permanent disturbance in the Buffer, an additional 2:1 for live canopy coverage removed, and an additional 100 square feet for the removal of the diseased/dying tree. We recommend mitigation be placed onsite and in the Buffer in order to provide the greatest water quality and habitat benefits.
- 3. 1,000 square-feet of on-site mitigation is required to satisfy mitigation requirements that have not yet been addressed from a 2009 building permit on this property.

Please include this letter as part of the record for this variance application. Also, pursuant to Natural Resources Article §8-1808(d)(6)(i), please provide our office with a copy of the Board's decision on this variance request. If you have any questions, please feel free to contact me at 410-260-3479 or kathryn.hayden@maryland.gov.

Sincerely,

Kathryn Hayden

Natural Resources Planner

File: KC 0219-24

Kathryn Hayden

CC: Nick Kelly, Critical Area Commission

Carla Gerber, Kent County Mark Carper, Kent County



Department of Planning, Housing, and Zoning

To: Kent County Board of Appeals From: Mark Carper, Associate Planner

Meeting: September 23, 2024
Subject: William and Linda Joyce

24-42, Variance – Steep Slope and Expanded Buffer

Executive Summary

Request by Applicant

William and Linda Joyce, owners, are requesting a variance to construct an ADA compliant carport, retaining wall, driveway, and wooden walkway on a slope greater than 15% and in an expanded buffer within the Critical Area.

Public Process

Per Article IX, Section 2 of the Kent County *Land Use Ordinance*, the Kent County Board of Appeals may authorize, upon application, variances from the 15% slope and buffer requirements so as to relieve practical difficulties or other injustices arising out of the strict application of the provisions of this Ordinance.

Summary of Staff Report

The 2.81-acre property is located at 29349 Glencoe Road, Kennedyville, in the Second Election District and is zoned Critical Area Residential (CAR).

According to the applicant, the practical difficulty is caused by existing steep slopes in the location that the applicants consider the most suitable for providing safe access to the dwelling while limiting environmental impact.

Staff Recommendation

Staff recommends approval of the variance to construct an ADA compliant carport, retaining wall, driveway, and wooden walkway on a slope greater than 15% and in an expanded buffer within the Critical Area.

PRELIMINARY STAFF REPORT

TO: Kent County Board of Appeals FROM: Mark Carper, Associate Planner SUBJECT: William and Linda Joyce

24-42, Variance – Steep Slope and Expanded Buffer

DATE: September 9, 2024

Description of Proposal

William and Linda Joyce, owners, are requesting a variance to construct an ADA compliant carport, retaining wall, driveway, and wooden walkway on a slope greater than 15% and in an expanded buffer within the Critical Area. An existing stone drive leading to a boat ramp is to be removed. The 2.81-acre property is located at 29349 Glencoe Road, Kennedyville, in the Second Election District and is zoned Critical Area Residential (CAR).

According to the applicant, the practical difficulty is caused by existing steep slopes in the location that the applicants consider the most suitable for providing safe access to the dwelling while limiting environmental impact.

Relevant Issues

- I. Steep Slopes and Buffer Requirements
 - A. Applicable Law: The Kent County Land Use Ordinance, Article V, Section 5.B.10 establishes that development on slopes greater than 15%, as measured before development, shall be prohibited unless the project is the only effective way to maintain or improve the stability of the land.

Article V, Section 5.B.3.a establishes that development activities, including structures, roads, parking areas, and other impervious surfaces, mining, and related activities, or septic systems shall not be permitted within the minimum 100-foot buffer.

- B. Staff and TAC Comments:
 - The applicants are requesting a variance to construct an ADA compliant carport, retaining wall, driveway, and wooden walkway on a slope greater than 15% and in an expanded buffer within the Critical Area, all comprising 1,425 square feet.
 - The mitigation requirement for a variance is 3:1 for a total of 4,275 square feet of Maryland native plantings to be installed within the buffer.
 - Removal of 267 square feet of vegetation and one diseased tree within the buffer requires 634 square feet of Maryland native plantings within the buffer.
 - A total of 4,909 square feet of Maryland native plantings is to be installed within the buffer
 - Removal of 1,000 square feet outside of the buffer from an earlier permit is to be mitigated with the installation of 1,000 square feet of Maryland native plantings outside of the buffer.
 - An existing stone drive to a long-existing boat ramp is to be removed. No mitigation is required.

II. Variance

A. Applicable Law: Article IX, Section 2.2 of the Kent County Land Use Ordinance authorizes the Board of Appeals to grant variances from the yard (front, side, or rear), height, bulk, parking, loading, shoreline cliff, 15% slope, pier length, impervious surface, stream protection corridor, and buffer requirements so as to relieve practical difficulties or other injustices arising out of the strict application of the provisions of this Ordinance.

24-42 - Joyce – Variance

In the Critical Area, for a variance of 15% slope, impervious surface, or buffer requirements, it being the purpose of this provision to authorize the granting of variation only for reasons of demonstrable and exceptional unwarranted hardship as distinguished from variations sought by applicants for purposes or reasons of convenience, profit, or caprice.

In order to grant a variance, the Board of Appeals must find all of the following:

- a. That the variance will not cause a substantial detriment to adjacent or neighboring property.
- b. That the variance will not change the character of the neighborhood or district.
- c. That the variance is consistent with the Comprehensive Plan and the general intent of this Ordinance.
- d. That the practical difficulty or other injustice was caused by the following:
 - i. Some unusual characteristic of size or shape of the property.
 - ii. Extraordinary topographical or other condition of the property.
 - iii. The use or development of property immediately adjacent to the property, except that this criterion shall not apply in the Critical Area.
- e. That the practical difficulty or other injustice was not caused by the applicant's own actions.
- f. That within the Critical Area for variances of 15% slope, impervious surface, or buffer requirements:
 - i. The granting of a variance will be in harmony with the general spirit and intent of the Critical Area Law and the regulations adopted by Kent County
 - ii. That the granting of a variance will not adversely affect water quality or adversely impact fish, wildlife, or plant habitat.
 - iii. That the application for a variance will be made in writing with a copy provided to the Critical Area Commission.
 - iv. That the strict application of the Ordinance would produce an unwarranted hardship.
 - v. Such hardship is not shared generally by other properties in the same zoning district and the same vicinity.
 - vi. The authorization of such variance will not be a substantial detriment to adjacent property and that the character of the district will not be changed by the granting of the variance.
- vii. That a literal interpretation of this Ordinance deprives the applicant of rights commonly enjoyed by other properties in similar areas within the Critical Area of Kent County.
- viii. That the granting of a variance will not confer upon an applicant any special privilege that would be denied by this Ordinance to other lands or structures.
- ix. Due to special features of a site, or special conditions or circumstances peculiar to the applicant's land or structure, a literal enforcement of this Ordinance would result in unwarranted hardship to the applicant.
- x. The Board of Appeals finds that the applicant has satisfied each one of the variance provisions.
- xi. Without the variance, the applicant would be deprived of a use of land or a structure permitted to others in accordance with the provisions of the critical area program
- g. In considering an application for a variance, the Board shall consider the reasonable use of the entire parcel or lot for which the variance is requested.
- h. In considering an application for a variance, the Board of Appeals shall presume that the specific development activity in the Critical Area that is subject to the application and for which a variance is required does not conform with the general purpose and intent of this Ordinance and the Critical Area Law.
- The Board may consider the cause of the variance request and if the variance request is the result of actions by the applicant, including the commencement of development activity before an application for a variance has been filed.

24-42 - Joyce – Variance 3

B. Staff and TAC Comments:

- The Kent County Health Department has no objections to the application.
- No known detriment to adjacent or neighboring properties or change in the character of the neighborhood will be caused by the proposed variance.
- The proposed is consistent with the Comprehensive Plan.
- The practical difficulty, not caused by the applicants, is created by the steep slopes around the main house, including the ravine on the east side of the property causing the buffer expansion.
- No known adverse impact to water quality, fish, wildlife, or plant habitat will be caused by the proposed variance.
- The application has been reviewed by the Critical Area Commission, and they have provided comments.
- The proposed variance would provide for continued, safe, and ADA accessible use of the property, and the strict application of the ordinance would produce an unwarranted hardship.
- The hardship is not known to be shared by other properties within the vicinity or as a common feature in the zoning district.
- The literal interpretation of the ordinance would deprive the applicants of the rights commonly enjoyed by other properties in similar areas within the Critical Area of Kent County.
- The variance would not confer upon the applicants any special privilege that would be denied to other lands or structures.

Staff Recommendation

Staff recommends approval of the variance to construct an ADA compliant carport, retaining wall, driveway, and wooden walkway on a slope greater than 15% and in an expanded buffer within the Critical Area.

24-42 - Joyce – Variance

HANDICAP ACCESSIBLE CARPORT

For Bill and Linda Joyce

PERMIT SET
VARIANCE APPLICATION

AUGUST 1, 2024

29349 Glencoe Rd Kennedyville, MD 21645

Map 6 Grid 2D Parcel 10 Election District 02 2.818 Acres

L0.0 TITLE SHEET / EXISTING CONDITIONS / DEMO/ SEC

L0.2 SITE ANALYSIS

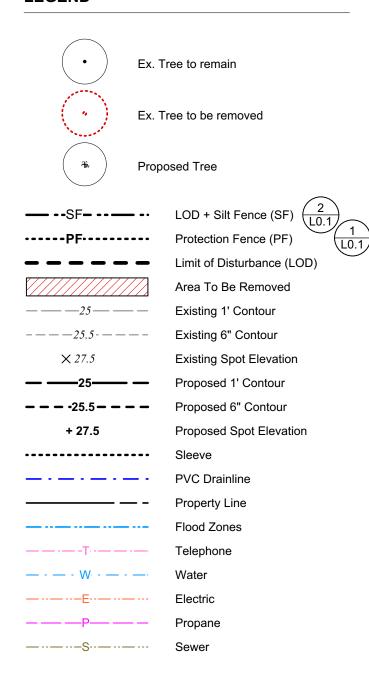
REV SEPTEMBER 9, 2024

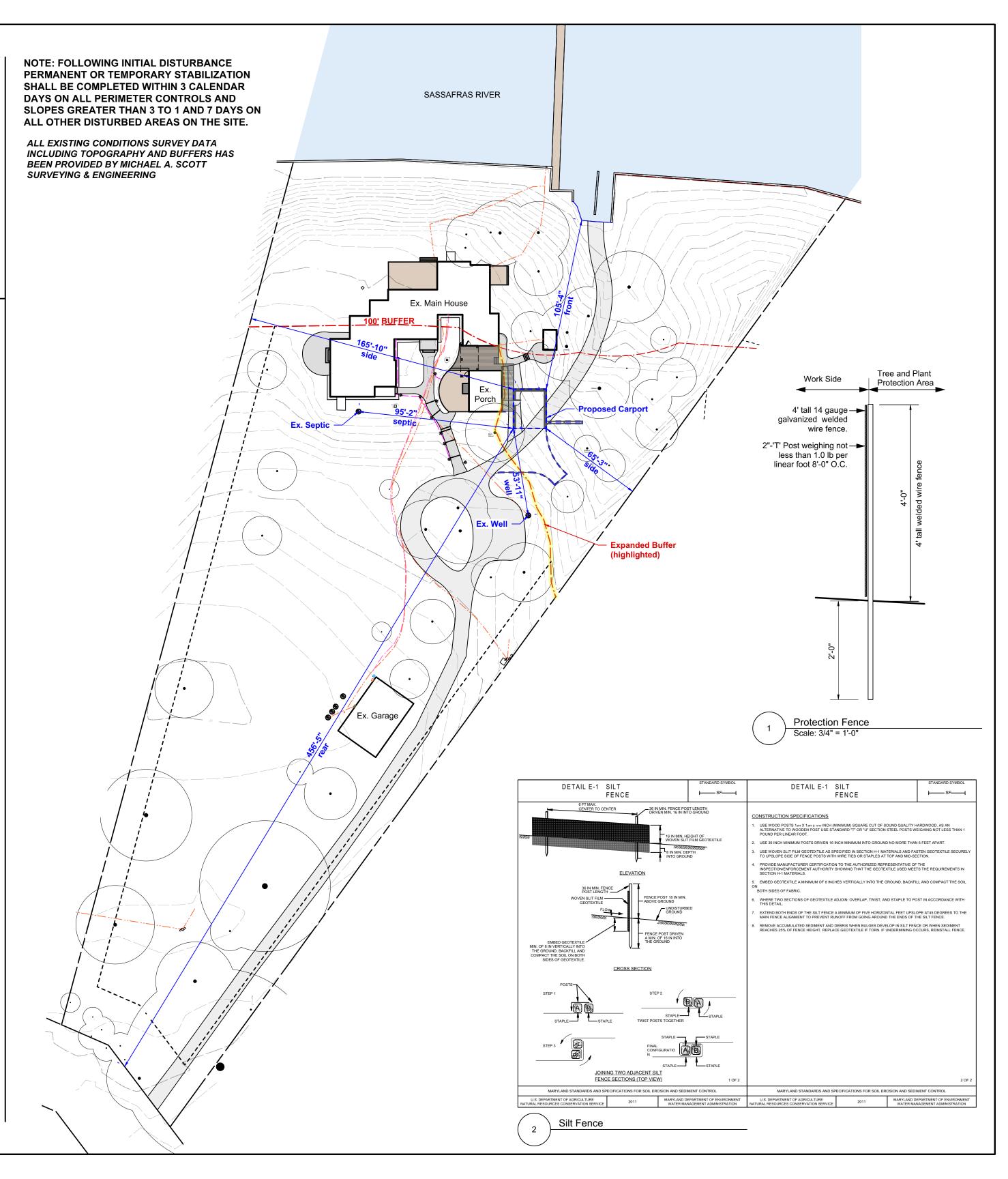
L1.0 PAVING REMOVAL AND RETENTION

L1.1 PROPOSED CARPORT PLAN

L1.2 TREE REMOVAL & BUFFER MANAGEMENT PLAN

LEGEND







10810 CLIFF ROAD CHESTERTOWN, MD 21620 410 778 1098

www.southforkstudio.com

NOT FOR ONSTRUCTION

07-03-24 PERMIT

08-01-24 Variance Application

08-29-24 Planning Commission

09-09-24 Board of Appeals

ISSUED FOR:
Client Review Revision

Bid Coordination
Permit
Construction

These drawings and specifications and the ideas represented thereby are and shall remain the property of the Landscape Architect. No part thereof shall be copied or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the Landscape Architect.

REVISIONS

Joyce Residence

29349 Glencoe Rd Kennedyville, MD



Contractors to Verify Dimensions on Site Do Not Scale the Drawing

Existing Conditions

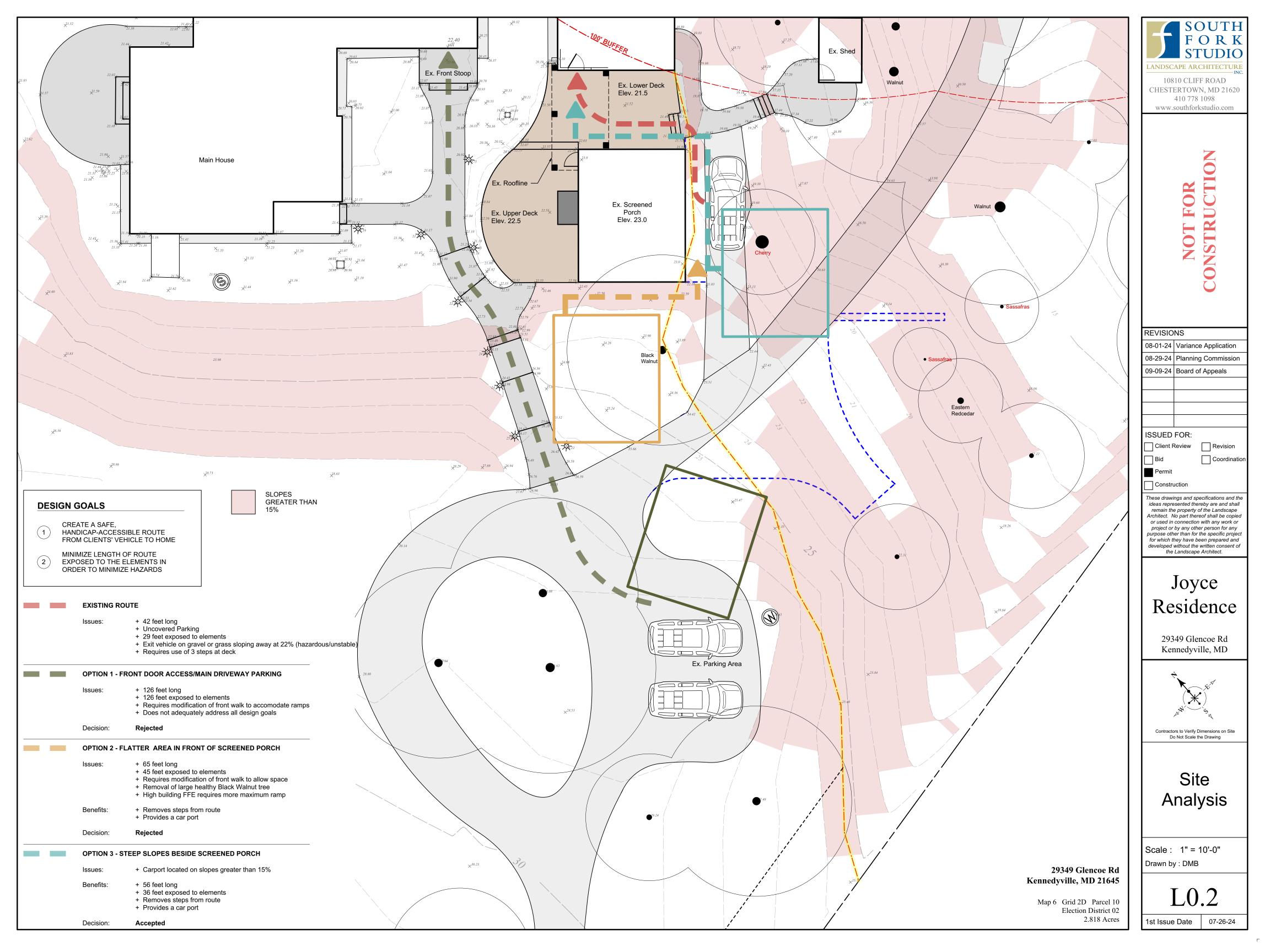
Scale : 1" = 40'-0"

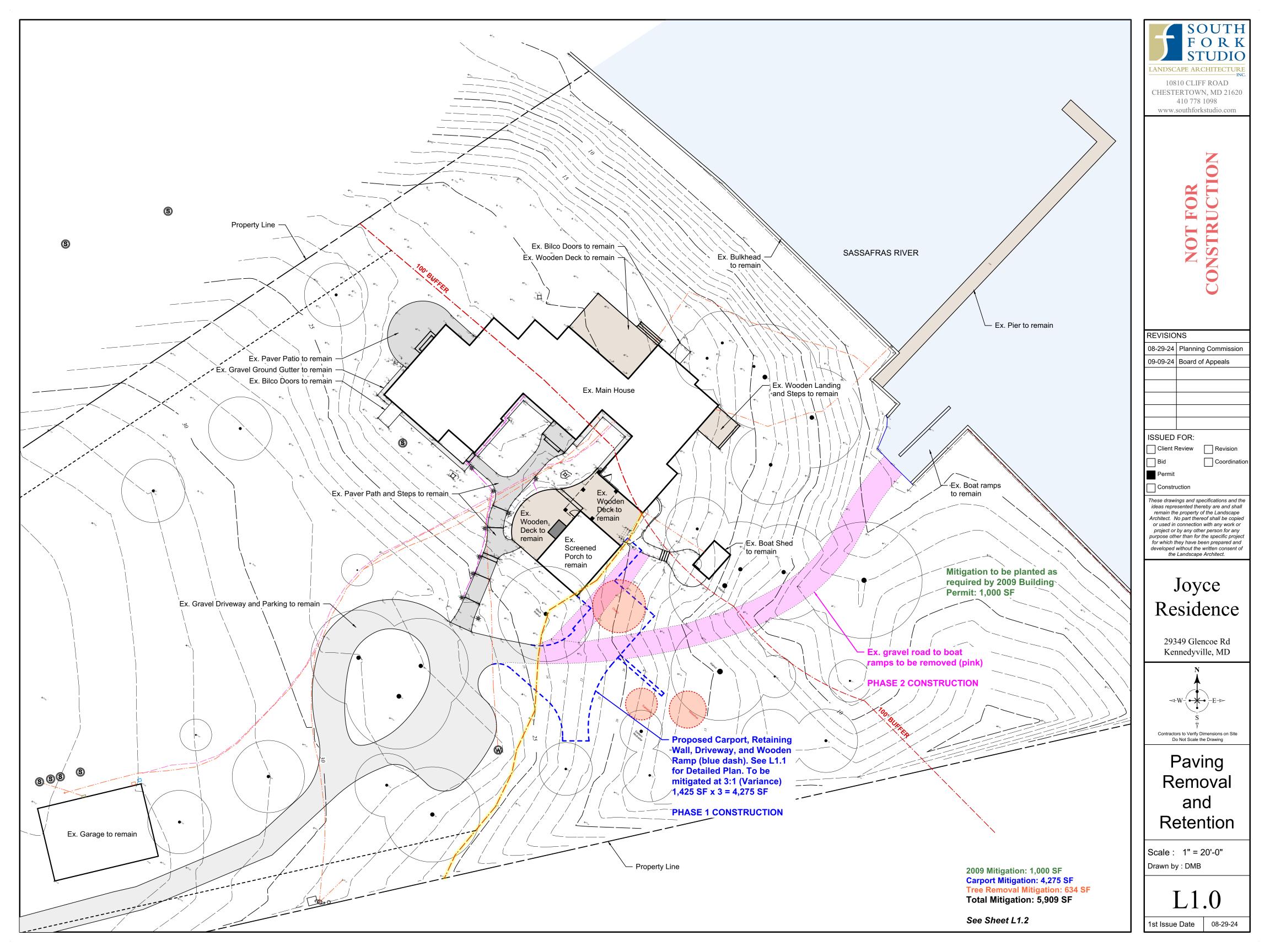
Drawn by : DMB

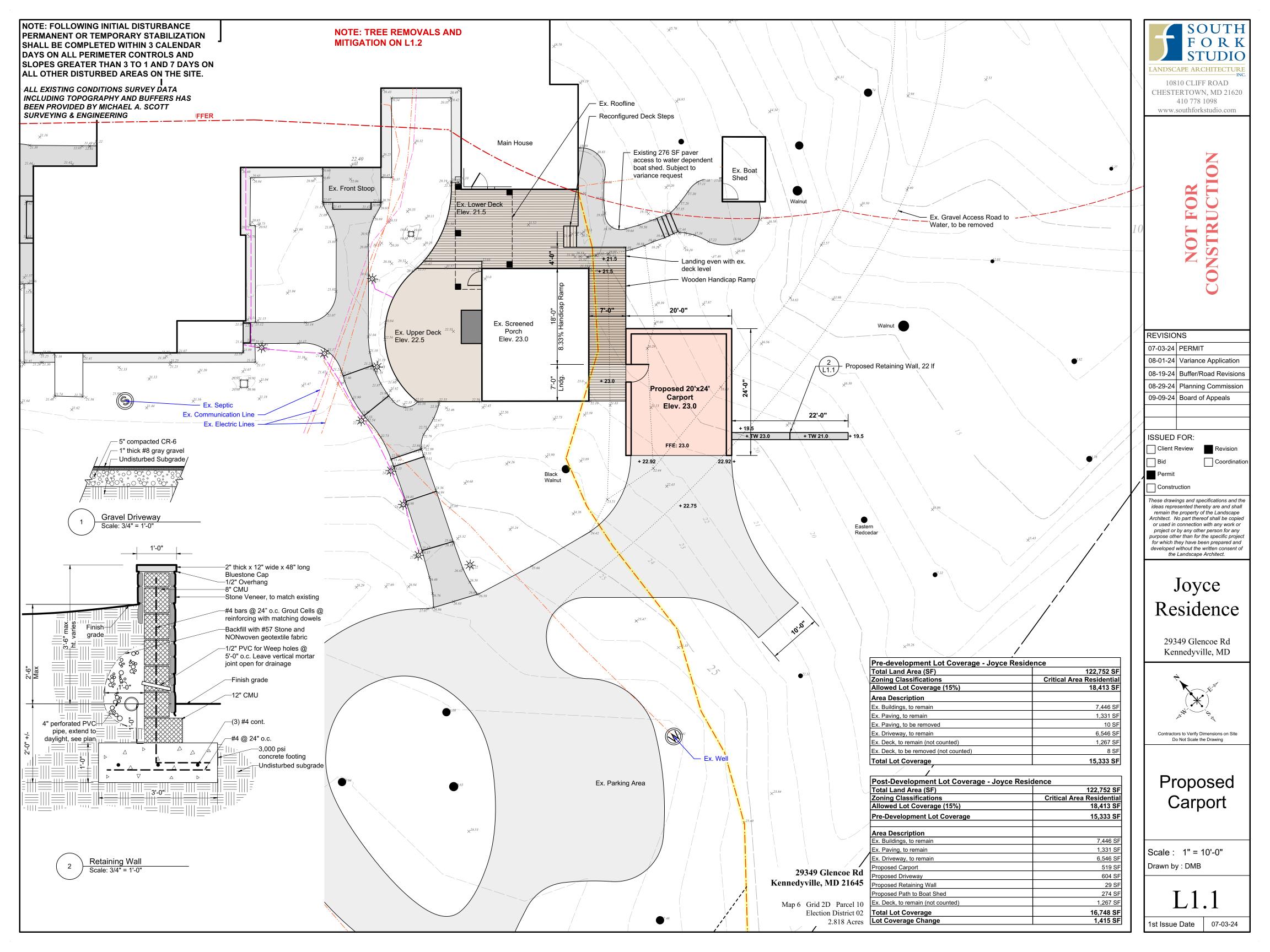
L0.1

1st Issue Date

07-03-24







Total Land Area (SF)	122,752 SF
Zoning Classifications	Critical Area Residentia
Allowed Lot Coverage (15%)	18,413 SF
Area Description	
Ex. Buildings, to remain	7,446 SF
Ex. Paving, to remain	1,331 SF
Ex. Paving, to be removed	10 SI
Ex. Driveway, to remain	6,546 SF
Ex. Deck, to remain (not counted)	1,267 SF
Ex. Deck, to be removed (not counted)	8 SF
Total Lot Coverage	15.333 SF

Post-Development Lot Coverage - Joyce Residence 122,752 SF Critical Area Residential Total Land Area (SF) **Zoning Classifications** Allowed Lot Coverage (15%) 18,413 SF 15,333 SF Pre-Development Lot Coverage Area Description 7,446 SF Ex. Buildings, to remain 1,331 SF Ex. Paving, to remain 6,546 SF Ex. Driveway, to remain Proposed Carport 519 SF 604 SF Proposed Driveway 29 SF Proposed Retaining Wall 274 SF Proposed Path to Boat Shed 1,267 SF Ex. Deck, to remain (not counted) 16,748 SF Total Lot Coverage

Lot Coverage Change

Critical Area Forest Clearing Calculations			
Total Land Area (SF)			122,752 S
Removal Calculations			
Live Canopy removed under 2009 Permit (mitigation per SF)		Outside Buffer	1,000 S
Live Tree Canopy, to be removed (mitigation per SF) 2:1		Inside Buffer	534 S
Diseased / Dying / Hazardous Trees, to be removed (mitigation 100	sf / tree)	Inside Buffer	100 S
Total Mitigation		TOTAL	1,634 S
Proposed Mitigation Plantings			
Planting Cluster 1 (1-1" cal. tree + 3 shrubs)	0 @	300 SF per cluster	0 S
Planting Cluster 2 (2-1" Undrstry tree + 3 shrubs) - Out of Buffer	3 @	350 SF per cluster	1,050 S
Planting Cluster 2 (2-1" Undrstry tree + 3 shrubs) - In Buffer	1 @	350 SF per cluster	350 S
2" Canopy Trees	1 @	200 SF per new tree	200 S
1 gal. Shrubs (max. 30%)	1 @	50 SF per shrub	50 S
1 qt. Peren. (max. 10%)	0 @	2 SF per plant	0 S
Total Forest Clearing Mitigation Plantings (SF)			1,650 S
Total 2" Trees	1		
Total 1" Canopy Trees	0		
Total 1" Understory Trees	8		
Total 1 gal. shrubs	13		
Total 1 qt. Perennials	0		

1,415 SF

Critical Area Variance Mitigation			
Pre-Development Lot Coverage			15,333 SF
Post-Development Lot Coverage			16,748 SF
2009 Vegatation Removal to be Mitigated (1:1)		see Forest Clearing above	SF
Variance (Buffer Disturbance) to be Mitigated (3:1)			4,275 SF
Total Mitigation			4,275 SF
Proposed Mitigation Plantings Inside Buffer			
Planting Cluster 1 (1-1" cal. tree + 3 shrubs)	4 @	300 SF per cluster	1200 SF
Planting Cluster 2 (2-1" Undrstry tree + 3 shrubs)	2 @	350 SF per cluster	700 SF
2" Trees	3 @	200 SF per new tree (2" Cal.)	600 SF
1 gal. Shrubs (max. 30%)	36 @	50 SF per shrub	1,800 SF
1 qt. Peren. (max. 10%)	0 @	2 SF per plant	0 SF
Total Buffer Mitigation Plantings (SF)			4,300 SF
Total 2" Trees	3		
Total 1" Canopy Trees	4		
Total 1" UnderstoryTrees	4		
Total 1 gal. shrubs	54		
Total 1 qt. Perennials	0		

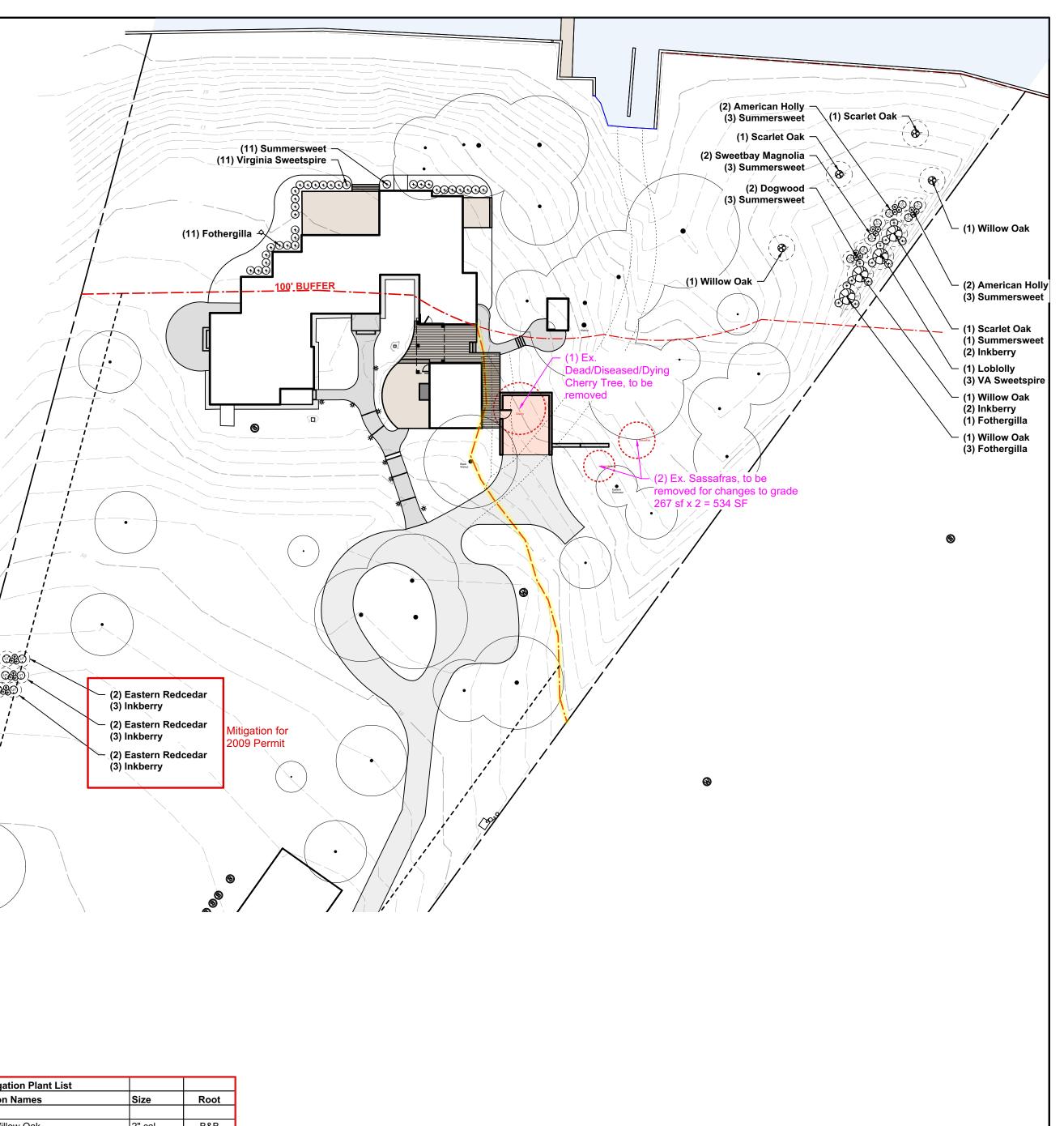
Critical	Area V	ariance Mitigation Plant List		
Key	Qty	Botanical / Common Names	Size	Root
Canopy	/ Trees			
PT	1	Pinus taeda / Loblolly Pine	1" cal.	B&B
QC	1	Quercus coccinea / Scarlet Oak	1" cal.	B&B
QC	2	Quercus coccinea / Scarlet Oak	2" cal.	B&B
QP	1	Quercus phellos / Willow Oak	2" cal.	B&B
QP	2	Quercus phellos / Willow Oak	1" cal.	B&B
	7	Total Canopy Trees		
Unders	tory Tr	ees		
Ю	4	Ilex opaca / American Holly	4' tall	B&B
	4	Total UnderstoryTrees		
Shrubs				
CA	20	Clethra alnifolia / Summersweet	36" Ht.	cont
FG	15	Fothergilla gardenii / Dwarf Fothergilla	36" Ht.	cont
IG	4	Ilex glabra / Inkberry	36" Ht.	cont
IV	15	Itea virginica / Virginia Sweetspire	36" Ht.	cont
	54	Total Shrubs		

Key	Qty	Botanical / Common Names	Size	Root
Canop	y Trees			
QP	1	Quercus phellos / Willow Oak	2" cal.	B&B
	1	Total UnderstoryTrees		
Unders	story Tr	ees		
MV	2	Magnolia virginiana / Sweetbay Magnolia	1" cal	B&B
JV	6	Juniperus virginiana / Eastern Redcedar	4' Ht.	B&B
	8	Total UnderstoryTrees		
Shrubs	s			
IG	10	Ilex glabra / Inkberry Holly	24" Ht.	Cont
CA	3	Clethra alnifolia / Summersweet	24" Ht.	cont
	13	Total Shrubs		

ALL EXISTING CONDITIONS SURVEY DATA INCLUDING TOPOGRAPHY AND BUFFERS HAS BEEN PROVIDED BY MICHAEL A. SCOTT **SURVEYING & ENGINEERING**

29349 Glencoe Rd Kennedyville, MD 21645

> Map 6 Grid 2D Parcel 10 Election District 02 2.818 Acres





CONSTRUCTION NOT FOR

REVISIO	NS
07-03-24	PERMIT
08-01-24	Variance Application
08-29-24	Planning Commission
09-09-24	Board of Appeals
ISSUED	FOR:
Client F	Review Revision
Bid	Coordination
Permit	
Constru	uction
ideas repre remain the	ings and specifications and the esented thereby are and shall e property of the Landscape lo part thereof shall be copied

Joyce Residence

or used in connection with any work or

project or by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the Landscape Architect.

> 29349 Glencoe Rd Kennedyville, MD



Contractors to Verify Dimensions on Site Do Not Scale the Drawing

Tree Removal and BMP

Scale: 1" = 30'-0" Drawn by : DMB

1st Issue Date 07-03-24 **DESIGN DEAD LOADS** FLOORS: 10 PSF

115 MPH, ULTIMATE DESIGN WIND SPEED 3 SECOND GUST. EXPOSURE CATEGORY C.

2. FOOTINGS: PLACE FOOTINGS ON FIRM, DRY NON FROZEN, NON-ORGANIC SUB-GRADE. VERIFY MINIMUM ALLOWABLE BEARING CAPACITY OF 2000 PSF. REMOVE SOFT SOILS ENCOUNTERED DURING EXCAVATION FOR FOOTINGS. BACKFILL THESE SW. OR SP PER USCS. PLACE IN 8" MAXIMUM LIFTS. COMPACT TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST (ASTM D1557). THE EXISTING SUB-GRADE MATERIAL IS BELIEVED TO BE UNDISTURBED, CLEAN, AND GRANULAR BY MEANS AND METHODS TO BE DETERMINED BY HIM, THAT THE BEARING CAPACITY OF THE SUB-GRADE IS SUFFICIENT AND MEETS THESE SPECIFICATIONS. AT A MINIMUM, THE EXPOSED SUB-GRADE BELOW ALL FOOTINGS SHALL BE DENSIFIED IN PLACE BY A HAND-HELD VIBRATORY COMPACTOR OR SIMILAR DEVICE. ANY SOFT AREAS IDENTIFIED DURING THE COMPACTION PROCESS

3. CONCRETE: COMPLY WITH AMERICAN CONCRETE INSTITUTE ACI 301 "SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS" (LATEST EDITION). COMPRESSIVE STRENGTH @ 28 DAYS, 3000 PSI. AIR ENTRAINMENT: ASTM C260, AIR ENTRAIN ALL EXTERIOR CONCRETE. REINFORCING STEEL: ASTM A615, 60 KSI DEFORMED BARS.

4. CONCRETE UNIT MASONRY: COMPLY WITH AMERICAN CONCRETE INSTITUTE ACI 531.1 "SPECIFICATION FOR CONCRETE MASONRY CONSTRUCTION (LATEST EDITION). HOLLOW LOAD BEARING (HLB): ASTM C90 GRADE N. TYPE I MOISTURE CONTROLLED UNITS. COMPRESSIVE STRENGTH: FM = 1500 PSI MINIMUM. MORTAR: ASTM C270, TYPE S. GROUT: ASTM C476 OR 3000 PSI

5. CRUSHED STONE: ASHTON #57 AGGREGATE, WASHED, UNIFORMLY GRADED AND FREE DRAINING. MECHANICALLY COMPACT

6. STRUCTURAL STEEL: COMPLY WITH AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS (LATEST EDITION). STEEL SHAPES AND PLATES: ASTM A36. FASTENERS: ASTM A325. ANCHOR BOLTS: ASTM A307. PRIMER PAINT: FABRICATOR'S STANDARD RUST INHIBITING PRIMER. WELDS: COMPLY WITH AWS D1.1 "STRUCTURAL WELDING CODE." GROUT FOR BASE PLATES: NON-SHRINK, HIGH EARLY

7. FASTENERS: IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS (2000), TABLE NO. R-402.3A, "FASTENING SCHEDULE FOR STRUCTURAL MEMBERS." PROVIDE BLOCKING, BRIDGING AND BRACING PER SAME CODE. AT A MINIMUM, PROVIDE BRIDGING AT EACH END OF JOIST, AND SOLID BRIDGING OR VERTICAL 2X6 BLOCKING BELOW ALL

8. FRAMING SPECIALTIES: ARE TO BE AS MANUFACTURED BY SIMPSON OR APPROVED EQUAL, AND ARE TO BE USED ONLY IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.

9. FRAMING CLIPS AND ANCHORS: ASTM A526, MINIMUM 16 GAUGE. PROVIDE TIE DOWN ANCHORS FOR ALL JOISTS AND RAFTERS. FASTENERS AND ANCHORS FOR EXTERIOR LOCATIONS, IN GROUND CONTACT, HIGH HUMIDITY LOCATIONS, AND WHERE

10. JOIST HANGERS: ASTM A526 MINIMUM, 16 GAUGE, SIZED AND PROFILE TO SUIT APPLICATION (UNLESS OTHERWISE NOTED) GALVANIZED FINISH. PROVIDE HANGERS FOR ALL FLUSH FRAMED JOISTS. HANGERS FOR EXTERIOR LOCATIONS, IN GROUND CONTACT, HIGH HUMIDITY LOCATIONS, AND WHERE CONNECTED TO TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED AFTER

11. PRESSURE TREATED LUMBER: WOOD EXPOSED TO THE ENVIRONMENT, WOOD DESIGNATED "PRESSURE TREATED", AND WOOD BOLTED IN CONTACT WITH MASONRY, SHALL BE #2 SOUTHERN PINE OR BETTER. PRESSURE IMPREGNATED WITH ALKALINE COPPER QUAT (ACQ) IN ACCORDANCE WITH AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA) STANDARD C1. P.T. SILL PLATES TO BE BOLTED TO FOUNDATION USING GALVANIZED ANCHOR BOLTS. ALL FASTENERS (NAILS, BOLTS, STRAPS, ETC) SHALL COMPLY WITH ASTM A153. HANGERS TO BE SIMPSON STRONG-TIE ZMAX OR EQUIV. FLASHING AND PRESSURE TREATED LUMBER

12. POINT LOADS: UNLESS OTHERWISE NOTED, COLUMNS IN EXTERIOR WALLS TO BE (3) 2X6'S. NAIL EACH FACE OF OUTSIDE (2) STUDS WITH (2) 10D NAILS AT 6" O.C. STAGGERED. PROVIDE SOLID BLOCKING BELOW ALL COLUMNS, TO TRANSFER LOAD DIRECTLY TO SOLID FRAMING, OTHER THAN TJI.

13. OPENINGS: UNLESS OTHERWISE NOTED, PROVIDE DOUBLE JOIST AROUND ALL FLOOR AND ROOF OPENINGS.

14. MULTI-PLY DIMENSIONAL LUMBER BEAMS: SHALL BE NAILED WITH 3 ROWS OF 10D NAILS AT 8" O.C. STAGGERED. BEAMS LOADED ON ONE FACE ONLY SHALL BE BOLTED WITH 5/8" DIA. BOLTS AT 16"O.C. STAGGERED (U.N.O.).

15. EXTERIOR WALLS: UNLESS OTHERWISE NOTED, TO BE 2X6 STUDS AT 16" O.C., WITH 1/2" A.P.A. RATED GROUP 1 SHEATHING. NAIL ALL PANEL EDGES WITH 8D NAILS AT 24" O.C. AND INTERMEDIATE STUDS WITH 8D NAILS AT 6" O.C.

16. INTERIOR SHEAR WALLS: SHOWN ON THE PLAN ARE TO BE SHEATHED ON BOTH FACES WITH 1/2" A.P.A. RATED GROUP 1 SHEATHING. BLOCK ALL UNSUPPORTED EDGES. NAIL ALL PANEL EDGES WITH 10D NAILS AT 3" O.C. AND INTERMEDIATE STUDS WITH 10D NAILS AT 6" O.C. INTERIOR SHEAR WALLS SHALL EXTEND TO THE UNDERSIDE OF THE FLOOR SHEATHING ABOVE. NAIL THROUGH SHEATHING INTO WALL DOUBLE TOP PLATE WITH (2) 10D NAILS @ 4"O.C. AS AN ALTERNATIVE, LOCATE JOIST(S) DIRECTLY ABOVE SHEAR WALL AND EXTEND SHEATHING UP SIDE OF JOIST(S). NAIL SHEATHING TO JOISTS(S) AS INDICATED

17. ALL WORK SHALL COMPLY WITH APPLICABLE LOCAL AND STATE CODES, ORDINANCES, REGULATIONS, AMENDMENTS, AND OTHER AUTHORITIES HAVING JURISDICTION. WORK SHALL COMPLY WITH INTERPRETATIONS OF LOCAL BUILDING OFFICIALS. IF LOCAL INTERPRETATIONS OF LOCAL BUILDING OFFICIALS ARE AT VARIANCE WITH THESE DOCUMENTS, INFORM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

18. ALL EXISTING CONSTRUCTION AND FEATURES THAT ARE TO REMAIN AS PART OF THE PROJECT SHALL BE PROTECTED FROM DAMAGE THROUGHOUT THE PERIOD OF CONSTRUCTION WORK. ANY DAMAGED CONSTRUCTION OR FEATURES SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR TO THE SATISFACTION OF THE OWNER WITH MATERIALS EQUIVALENT OR SUPERIOR TO THE ORIGINAL ITEM(S).

19. CONTROL DUST AND DEBRIS AND PREVENT FROM CONTAMINATING ADJACENT AREAS.

20. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE PRIOR TO COMMENCEMENT OF WORK. VERIFY LAYOUT OF NEW WORK PRIOR TO COMMENCEMENT OF WORK; COORDINATE LAYOUT WITH ARCHITECT FOR REQUIRED FIELD ADJUSTMENTS.

21. HOLD INDICATED DIMENSIONS. DO NOT SCALE DRAWINGS. RESOLVE ANY DISCREPANCIES BEFORE BEGINNING WORK.

22. WHERE DRAWINGS ARE IN CONFLICT WITH OTHER DRAWINGS, SPECIFICATIONS, OR DETAILS, CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION PRIOR TO INSTALLATION.

23. GENERAL NOTED AND TYPICAL DETAILS APPLY THROUGHOUT THE JOB UNLESS OTHERWISE NOTED. WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN OR DETAILED, THE WORK SHALL COMPLY WITH THE DETAILS INDICATED FOR SIMILAR CONDITIONS.

24. UNLESS OTHERWISE NOTED, ALL FRAMING DIMENSIONS FOR NEW CONSTRUCTION ARE TO FACE OR CENTERLINE OF FRAMING MEMBERS AS INDICATED ON DRAWINGS.

25. KEEP CONSTRUCTION SITE SECURE FROM UNAUTHORIZED ENTRY AT ALL TIMES AND PROVIDE REQUIRED SAFETY PROTECTION

26. KEEP WORK AREA BROOM CLEAN AT END OF EACH DAY. REMOVE DEBRIS DAILY FROM JOB SITE. UPON COMPLETION PROVIDE FINAL CLEANING TO MEET CLIENT'S APPROVAL.

27. PROVIDE TEMPORARY LIGHTING AND SWITCHING THROUGHOUT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

28. PROJECT WORK SHALL NOT INTERRUPT THE OWNER'S GENERAL BUILDING OPERATION OF PROJECT SITE. OWNER SHALL BE GIVEN WRITTEN NOTICE OF ANY FORESEEABLE INTERRUPTION 72 HOURS PRIOR TO INTERRUPTION.

29. COORDINATE PROJECT SITE ACCESS, DUMPSTER LOCATION, EQUIPMENT STORAGE, STAGING AREAS, MATERIAL STORAGE, MATERIAL DELIVERY AND DEBRIS REMOVAL WITH OWNER. COORDINATION SHALL INCLUDE APPROPRIATE SCHEDULING TO MEET OWNER'S DAILY OPERATION.

30. IMMEDIATELY ALERT CLIENT AND ARCHITECT OF ANY UNSAFE OR QUESTIONABLE CONDITIONS DISCOVERED OR CAUSED DURING THE PERIOD OF CONSTRUCTION.

31. CONTACT ARCHITECT OF FIELD CONDITIONS WHICH DO NOT AGREE WITH INTENDED WORK DESCRIBED IN CONSTRUCTION DOCUMENTS OR CONFLICTING SITUATIONS WHICH EFFECT INTENDED SCOPE OF WORK.



Joyce Sassafras River New (Wheelchair Accessible) Carport Entry Addition

29349 Glencoe Road Kennedyville, MD 21645 Kent County

Bill & Linda Joyce



Change List



Sheet Index

ID	Drawing #	Drawing Name	Change IDs in Current Revision Comments	
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DE				
	1.00	Foundation Screen Proch - Demo	02,03	
	1.01	1st Floor Screen Proch - Demo	02,03	
	1.02	Roof Plan - Demo	02,03	
A				
	1.02	Foundation Carport - Proposed	02,03	
	1.03	1st Floor Plan - Carport Proposed	02,03	
	1.04	Roof Plan Carport - Proposed	02,03	
	2.01	Exterior Elevations 1	02,03	
	2.02	Exterior Elevations 2	02,03	
	3.01	Building Sections Carport 1 - Proposed	02,03	
	3.02	Building Sections Carport 2 - Proposed	02,03	
	9.02	3D Views Car Port - Proposed	02,03	
	9.03	3D Views Car Port - Proposed	02,03	

Zoning Information 29349 Glencoe Road Property Address: Kennedyville, MD 21645 Lot and Block Info: Zoning Designation: Min. Front Yard Setback Min. Side Yard Setback: Min. Rear Yard Setback Max. Impervious Area Allowed: Existing Impervious Area: Deleted Impervious Area: Added Impervious Area:

Applicable Codes:

Final Proposed Imperv. Area:

Building Requirements:

2021 International Building Code (IBC) and local amendments. 2021 International Existing Building Code (IEBC) and local amendments.

2021 International Plumbing Code 2021 International Mechanical Code

2021 International Fuel and Gas Code

Electrical Requirements: 2021 National Electrical Code and local amendments

2021 International Energy Conservation Code

Accessibility Code:
Not Applicable

Fire Code:
2017 NFPA 1 Uniform Fire Code 2017 NFPA 101 Life Safety Code

Building Data:

Date

1/11/24

8/1/24

Revisions to keep exist. stair

Permit Document Submission

Variance Submission

Number of Stories: 1 1/2 St*o*ry Building Height: Per Drawings Building is Sprinklered: Building has Fire Alarm: Private Mell Sewage Disposal: Private Septic

IBC Chapter 3 - Use and Occupancy Classification: Occupancy Group R (Residential)

Chestertown, MD 21620 john@johnhutcharch.com

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Project Number: JHA 23-018

Joyce Sassafras River New (Wheelchair **Accessible) Carport Entry Addition**

> 29349 Glencoe Road Kennedyville, MD 21645 Kent County

> > Bill & Linda Joyce

REVISIONS ID Change Name

03 Variance Submission

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Variance Submission 8/1/24

Cover Sheet



General Demolition Notes

A. Remove partitions, walls, floor and roof systems, and other associated construction as indicated on demolition plans.

B. Terminate all electrical lines in walls and ceilings in a safe and secure manner and in accordance with all applicable local, state and national codes.

C. Secure and protect existing main electrical panels during demolition.

D. Protect existing exposed foundation walls from damage.

E. Secure all drains/soil line inlets with plumbing caps and/or covers as

F. Securely store all removed lighting and plumbing fixtures, furniture and equipment as per owner's direction.

G. Remove all demolition debris from site in full accordance with all applicable local, state and national codes and regulations. prevent in jury to personnel and damage to adjoining property. maintain any existing rights of way.

H. Protect all surfaces indicated to remain (windows, doors, frames, walls etc.) from damage during demolition.

I. Secure all hyac equipment, ductwork, electrical equipment and cabling to remain.

J. Prior to demolition, G.C. to verify all temporary shoring and bracing of all existing construction to remain.

K. Not Used.

L. Not Used.

M. On demolition drawings, construction identified with dashed red lines is scheduled for demolition. bring any discrepancies or questions to the attention of the Architect.

John Hutchison Architecture

> 302 Park Row, Flr 1st Chestertown, MD 21620 410.449.0466 john@johnhutcharch.com www.johnhutcharch.com

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Joyce Sassafras River New (Wheelchair Accessible) Carport Entry Addition

29349 Glencoe Road

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REVISIONS

ID	Change Name	Date
02	Permit Document Submission	7/3/24
03	Variance Submission	8/1/24

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CONSTRUCTION Variance Submission

Demo

8/1/24 Printed: 8/2/24 Foundation Screen Proch

1st Floor Screen Porch - Demo

General Demolition Notes

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B. Terminate all electrical lines in walls and ceilings in a safe and secure manner and in accordance with all applicable local, state and national

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Variance Submission

8/1/24 Printed: 8/2/24 1st Floor Screen Proch -

Demo

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Variance Submission

8/1/24 Printed: 8/2/24 Roof Plan - Demo

Foundation General Notes

A. Outlets in unfinished crawlspace areas to be GFI.

B. Joints in foundation walls and floors, including without limitation, control joints between slab sections poured separately, and between foundation wall and floor (except for french drains or channel drains), as well as penetrations of the foundation walls and floor including, but not limited to, utility penetrations, shall be substantially sealed by utilizing a noncracking polyurethane or similar caulk.



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framing members shown close to each other are snug together. D. Provide Simpson or equivalent

joist hangers where indicated/as

A. Unless otherwise noted, framing

are shown to the outside face or

centerline of framing members.

b. Unless otherwise noted, dimensions

C. Except where otherwise indicated,

necessary. E. Subfloor - Match exist.

Framing General Notes

members are #2 hem-fir.

F. Where joists bear on perpendicular walls, partitions and beams, provide blocking between joists using same

G. Unless otherwise noted, headers are as follows:

joist type. Provide (2) joists directly below walls or partitions above.

Openings up to 5' in width: (2) 2x10's, 2 jacks/2 kings ea. jamb.

Openings up to 7' in width: (3)

2x10's, 2 jacks/2 kings ea. jamb. H. G.C. shall use standard steel connectors for PSL connections as per Trus-Joist specifications. provide connection shop drawings to Architect prior to installation.

I. Prior to start of framing: general contractor shall verify all framing requirements for mechanical equipment, mechanical chases, plenums, cabinets and other construction elements within this building not specifically detailed in these construction documents.

or other projects, except by agreement in writing and appropriate compensation to the Architect.

procedures, or for safety precautions and programs in connection with the project.

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Project Number: JHA 23-018

Joyce Sassafras River New (Wheelchair Accessible) Carport Entry Addition

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REVISIONS ID Change Name

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Variance Submission 8/1/24 Printed: 8/2/24

Foundation Carport -Proposed

Floor Plan General Notes

A. All thresholds shall have beveled edges with the slope being no greater

B. Unless otherwise noted, color selection of finishes is to be coordinated with owner. Selection and design of casework, counters, and cabinets shall be coordinated with the owner. G.C. to provide shop drawings for owner approval prior to construction.

C. O.O.N. new interior doors and hardware shall match existing. Elevator Doors as per Elevator manufacturer Specifications.

D. U.O.N. existing interior door/ window casings and baseboard trim is to be primed and painted. New trims

E. U.O.N. new flooring is to match adjacent existing..

are to match existing.

F. New plumbing fixtures are Kohler per Owner.

Framing General Notes

A. Unless otherwise noted, framing members are #2 hem-fir.

b. Unless otherwise noted, dimensions are shown to the outside face or centerline of framing members.

C. Except where otherwise indicated, framing members shown close to each other are snug together.

D. Provide Simpson or equivalent joist hangers where indicated/as necessary.

E. Subfloor - Match exist.

F. Where joists bear on perpendicular walls, partitions and beams, provide blocking between joists using same joist type. Provide (2) joists directly below walls or partitions above.

G. Unless otherwise noted, headers are as follows:

Openings up to 5' in width: (2) 2x10's, 2 jacks/2 kings ea. jamb. Openings up to 7' in width: (3)

2×10's, 2 jacks/2 kings ea. jamb. H. G.C. shall use standard steel

connectors for PSL connections as per Trus-Joist specifications. provide connection shop drawings to Architect prior to installation.

I. Prior to start of framing: general contractor shall verify all framing requirements for mechanical equipment, mechanical chases, plenums, cabinets and other construction elements within this building not specifically detailed in these construction documents.

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John

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Project Number: JHA 23-018

Joyce Sassafras River New (Wheelchair Accessible) Carport Entry Addition

29349 Glencoe Road Kennedyville , MD 21645 Kent County

Bill & Linda Joyce

REVISIONS

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02	Permit Document Submission	7/3/24
<i>0</i> 3	Variance Submission	8/1/24

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Variance Submission

Proposed

8/1/24 Printed: 8/2/24 1st Floor Plan - Carport

General Roof Plan Notes

applied to a plywood deck surface; remove any existing roofing prior. Inspect any existing roofing felt and sheathing and replace with new as necessary.

B. G.C. to provide samples of roofing material and color selection for owner approval prior to ordering of materials.

C. All bottom and side edges of roof planes are to receive 2'-0" min. cont. strip of ice and water shield. Roof slopes less than 3/12 shall receive ice and water shield over the entire roof plane.

D. not used.

E. New porch roofing is Atas 1" Field Lock metal roofing, 17 1/2" exp. Color per owner.

F. Unless otherwise noted, line all valleys with ice and water shield. Valleys to be weaved shingles or exposed copper per owners direction.

G. Discuss with Owner and/or Architect penetration locations for plumbing vents prior to installation.

Framing General Notes

A. Unless otherwise noted, framing members are #2 hem-fir.

b. Unless otherwise noted, dimensions are shown to the outside face or centerline of framing members.

C. Except where otherwise indicated, framing members shown close to each other are snug together.

D. Provide Simpson or equivalent joist hangers where indicated/as necessary.

E. Subfloor - Match exist.

F. Where joists bear on perpendicular walls, partitions and beams, provide blocking between joists using same joist type. Provide (2) joists directly below walls or partitions above.

G. Unless otherwise noted, headers are as follows:

> Openings up to 5' in width: (2) 2x10's, 2 jacks/2 kings ea. jamb.

Openings up to 7' in width: (3) 2x10's, 2 jacks/2 kings ea. jamb.

H. G.C. shall use standard steel connectors for PSL connections as per Trus-Joist specifications. provide connection shop drawings to Architect prior to installation.

 Prior to start of framing: general contractor shall verify all framing requirements for mechanical equipment, mechanical chases, plenums, cabinets and other construction elements within this building not specifically detailed in these construction documents.

A. Unless otherwise noted, re-roofing of existing roofs shall be directly

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The General Contractor is responsible for confirming

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Project Number: JHA 23-018

Joyce Sassafras River New (Wheelchair Accessible) Carport Entry Addition

29349 Glencoe Road Kennedyville , MD 21645 Kent County

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PEVISIONS

REVISIONS				
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02	Permit Document Submission	7/3/24		
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PRELIMINARY FOR PERMITTING ONLY **NOT FOR** CONSTRUCTION

Variance Submission 8/1/24 Printed: 8/2/24

Roof Plan Carport -Proposed

General Demolition Notes

A. Remove partitions, walls, floor and roof systems, and other associated construction as indicated on demolition plans.

B. Terminate all electrical lines in walls and ceilings in a safe and secure manner and in accordance with all applicable local, state and national

C. Secure and protect existing main electrical panels during demolition.

D. Protect existing exposed

foundation walls from damage.

E. Secure all drains/soil line inlets with plumbing caps and/or covers as required.

F. Securely store all removed lighting and plumbing fixtures, furniture and equipment as per owner's direction.

G. Remove all demolition debris from site in full accordance with all applicable local, state and national codes and regulations. prevent in jury to personnel and damage to adjoining property. maintain any existing rights of way.

H. Protect all surfaces indicated to remain (windows, doors, frames, walls etc.) from damage during demolition.

l. Secure all hvac equipment, ductwork, electrical equipment and cabling to remain.

J. Prior to demolition, G.C. to verify all temporary shoring and bracing of all existing construction to remain.

to the attention of the Architect. Screen Door

K. Not Used.

L. Not Used.

M. On demolition drawings, construction identified with daspertially demolish red lines is scheduled for demolition is screen bring any discrepancies or questignstem for New

Framing General Notes

E. Subfloor - Match exist.

F. Where joists bear on perpendicular

walls, partitions and beams, provide

blocking between joists using same

below walls or partitions above.

joist type. Provide (2) joists directly

A. Unless otherwise noted, framing members are #2 hem-fir.

Openings up to 5' in width: (2) b. Unless otherwise noted, dimensions are shown to the outside face or 2x10's, 2 jacks/2 kings ea. jamb. centerline of framing members. Openings up to 7' in width: (3)

2x10's, 2 jacks/2 kings ea. jamb. C. Except where otherwise indicated, framing members shown close to each H. G.C. shall use standard steel other are snug together.

connectors for PSL connections as per Trus-Joist specifications. D. Provide Simpson or equivalent provide connection shop drawings to joist hangers where indicated/as Architect prior to installation. necessary.

> I. Prior to start of framing: general contractor shall verify all framing requirements for mechanical equipment, mechanical chases, plenums, cabinets and other construction elements within this building not specifically detailed in these construction documents.

G. Unless otherwise noted, headers

are as follows:

Exterior General Notes

A. The following openings in the building shall be caulked or otherwise

sealed to limit infiltration:

3. All other penetrations of the

F. New decking is to be lpe to match exist

Partially demolish

deck and steps. Refer Plans

portion of existing

G. New railing are to be Stainless Exterior joints around the Steel to match exist. window and door frames. 2. Openings for electrical and

windows and exterior patio doors shall be Andersen 400 Series with exterior casings to match existing and SDL muntin patterns per elevations. color to match exist.

B. U.O.N. new and replacement

building envelope.

C. Unless otherwise noted top of window frame are to align w/ adj. exist. windows.

D. U.O.N. replacement and new siding to be James Hardie shingle panels to match exist.

E. U.O.N. new and replacement exterior trim such as fascia boards, water tables, window and door trim, etc. to be James Hardie, composite,

or equiv.

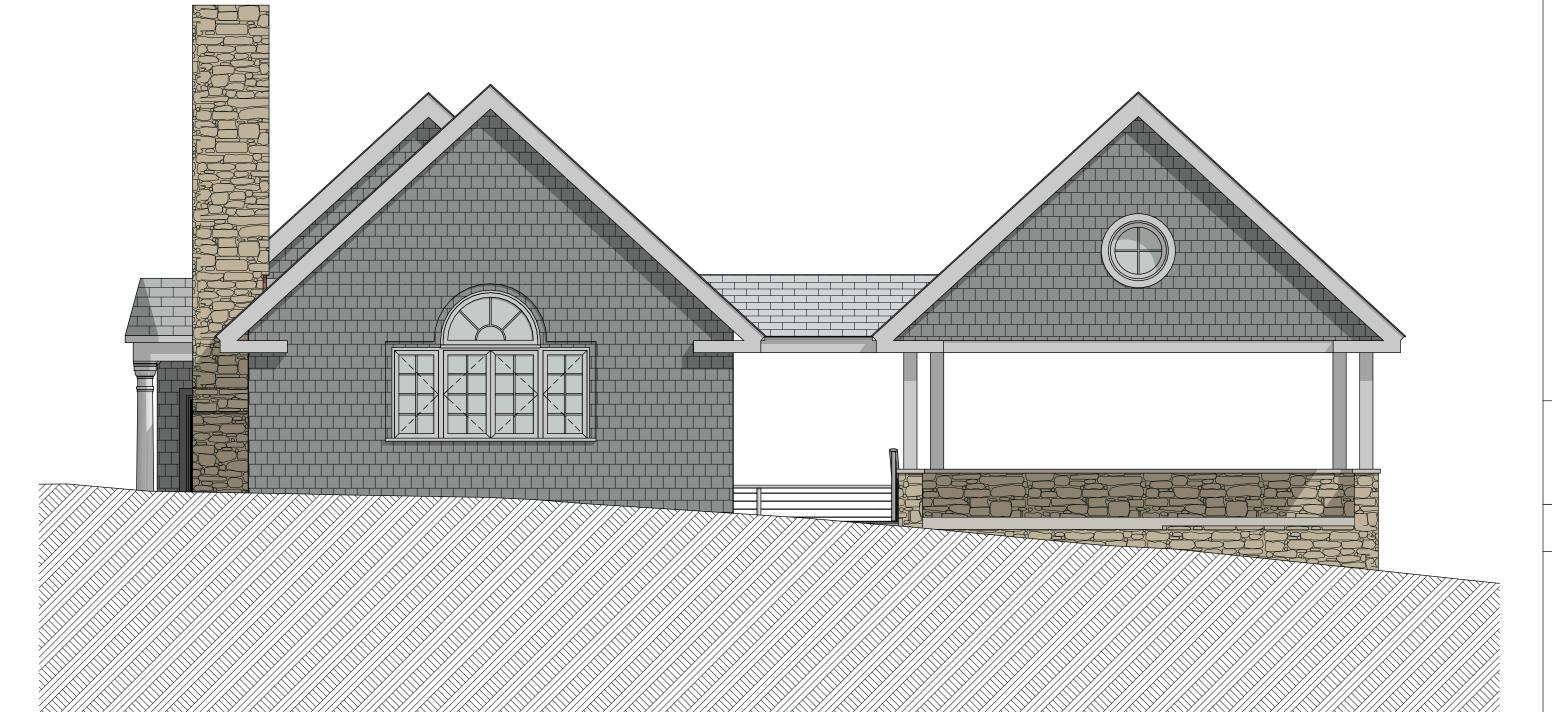
South Elevation - Demo SCALE: 1/4" = 1'-0"

Proposed New Carport - New 55 railing to match existing

> East Elevation - Proposed SCALE: 1/4" = 1'-0"

East Elevation - Demo

SCALE: 1/4" = 1'-0"



South Elevation - Proposed SCALE: 1/4" = 1'-0"

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Project Number: JHA 23-018

Joyce Sassafras River New (Wheelchair Accessible) Carport Entry Addition

> 29349 Glencoe Road Kennedyville , MD 21645 Kent County

> > Bill & Linda Joyce

ID	Change Name	Date
02	Permit Document Submission	7/3/24
03	Variance Submission	8/1/24

Note: 3D Images are shown for reference only and shall not be used for Actual Construction. **Note**: Full Size drawings are typically printed on 22x34 or 24x36 paper. If printed on 11x17 or 13x19 paper, it is likely the drawings are printed using a 50% reduction. Please verify scale of all drawings.

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Variance Submission 8/1/24 Printed: 8/2/24

Exterior Elevations 1

A. Remove partitions, walls, floor and roof systems, and other associated construction as indicated on

demolition plans. B. Terminate all electrical lines in walls and ceilings in a safe and secure manner and in accordance with all applicable local, state and national

C. Secure and protect existing main electrical panels during demolition.

D. Protect existing exposed foundation walls from damage.

E. Secure all drains/soil line inlets with plumbing caps and/or covers as required.

F. Securely store all removed lighting and plumbing fixtures, furniture and equipment as per owner's direction.

G. Remove all demolition debris from site in full accordance with all applicable local, state and national codes and regulations. prevent injury b. Unless otherwise noted, dimensions to personnel and damage to adjoining are shown to the outside face or property. maintain any existing rights centerline of framing members.

cabling to remain.

K. Not Used.

L. Not Used.

Partially demolish portion of existing

deck and steps.

Refer Plans

existing construction to remain.

construction identified with dashed red lines is scheduled for demolition.

bring any discrepancies or questions

to the attention of the Architect.

M. On demolition drawings,

H. Protect all surfaces indicated to framing members shown close to each remain (windows, doors, frames, walls other are snug together. etc.) from damage during demolition.

D. Provide Simpson or equivalent I. Secure all hvac equipment, joist hangers where indicated/as ductwork, electrical equipment and necessary.

E. Subfloor - Match exist. J. Prior to demolition, G.C. to verify all

Framing General Notes

members are #2 hem-fir.

temporary shoring and bracing of all F. Where joists bear on perpendicular walls, partitions and beams, provide blocking between joists using same joist type. Provide (2) joists directly below walls or partitions above.

C. Except where otherwise indicated,

A. Unless otherwise noted, framing G. Unless otherwise noted, headers

are as follows:

Openings up to 5' in width: (2)

Openings up to 7' in width: (3) 2×10's, 2 jacks/2 kings ea. jamb.

2x10's, 2 jacks/2 kings ea. jamb.

H. G.C. shall use standard steel connectors for PSL connections as per Trus-Joist specifications. provide connection shop drawings to Architect prior to installation.

I. Prior to start of framing: general contractor shall verify all framing requirements for mechanical equipment, mechanical chases, plenums, cabinets and other construction elements within this building not specifically detailed in these construction documents.

Exterior General Notes

A. The following openings in the building shall be caulked or otherwise sealed to limit infiltration:

> 1. Exterior joints around the window and door frames.

2. Openings for electrical and

3. All other penetrations of the

building envelope. B. U.O.N. new and replacement windows and exterior patio doors shall be Andersen 400 Series with exterior casings to match existing and SDL muntin patterns per elevations. color to match exist.

C. Unless otherwise noted top of window frame are to align w/adj. exist. windows.

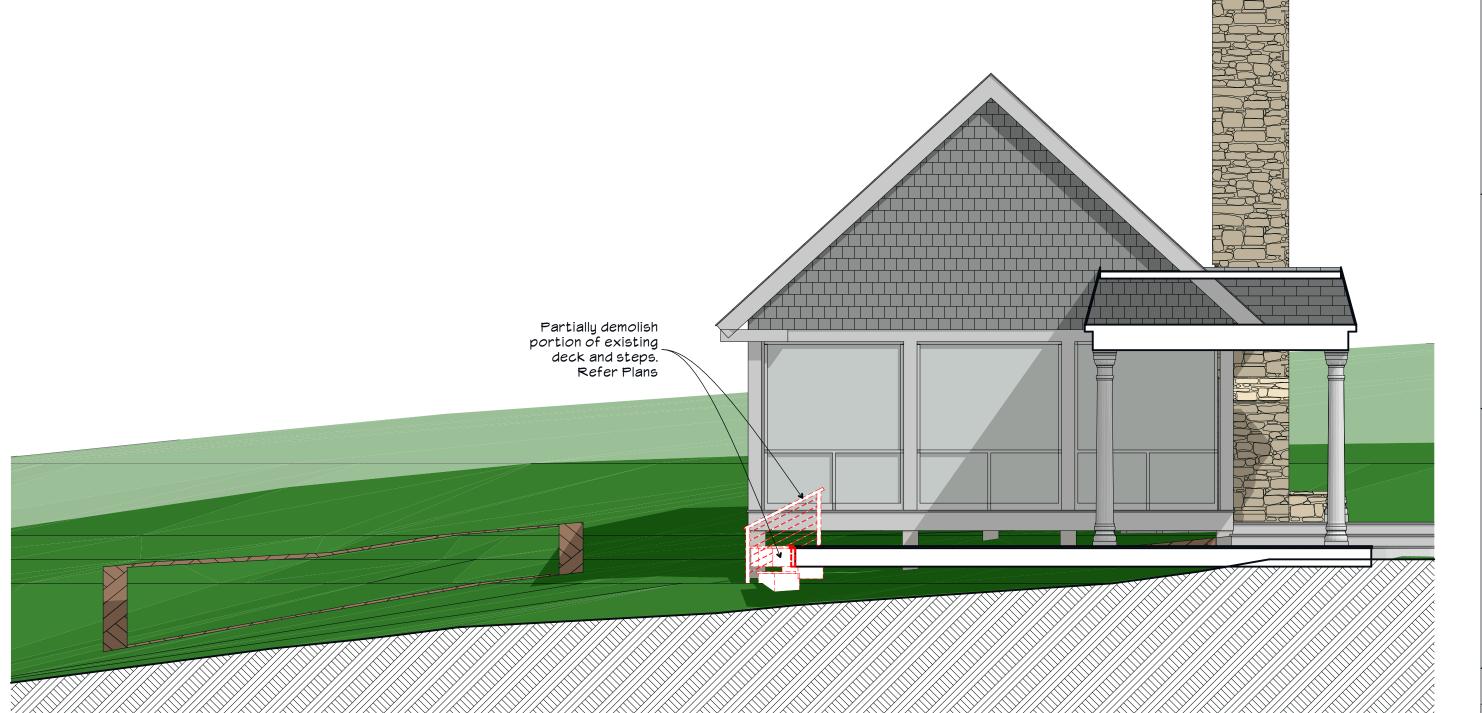
D. U.O.N. replacement and new siding to be James Hardie shingle panels to match exist.

E. U.O.N. new and replacement exterior trim such as fascia boards, water tables, window and door trim, etc. to be James Hardie, composite, or equiv.

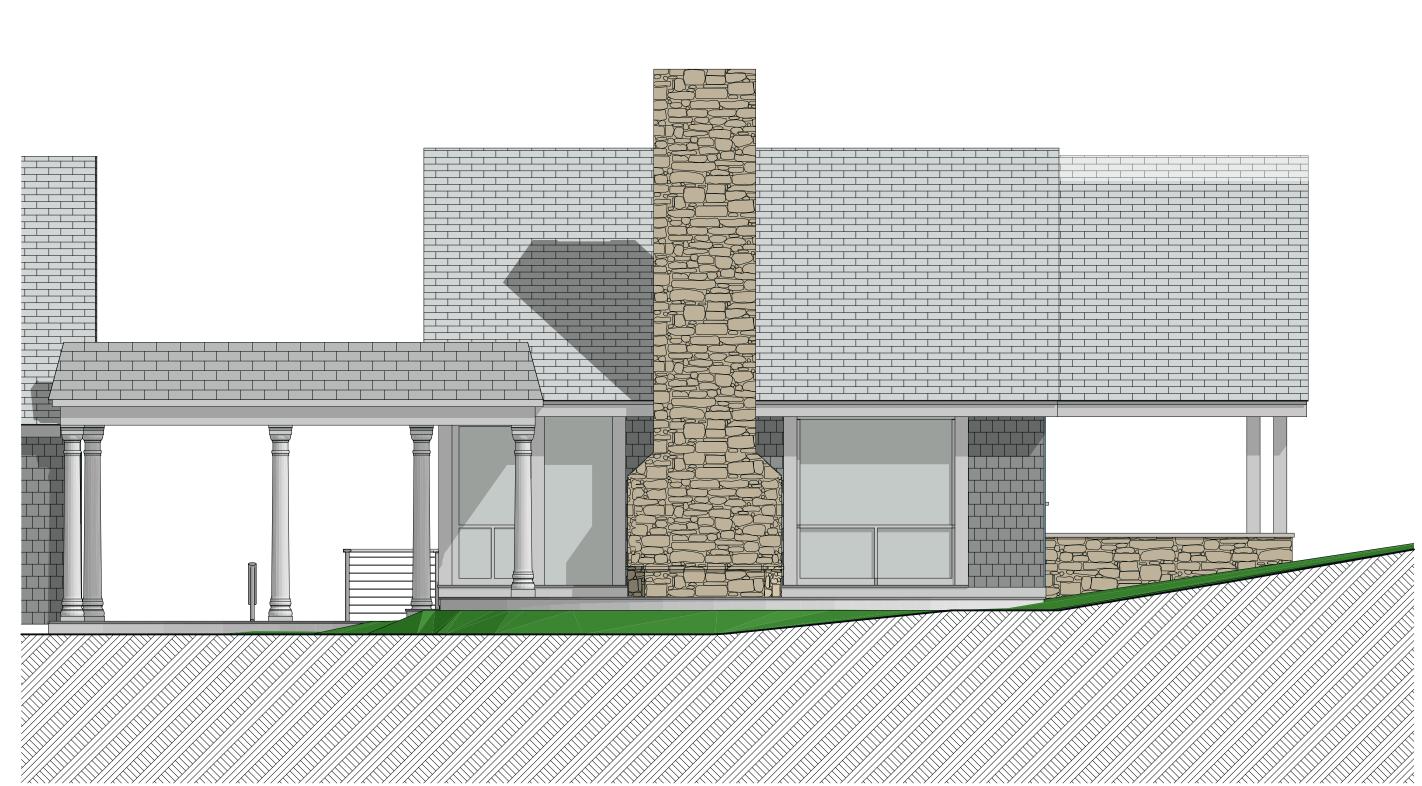
F. New decking is to be lpe to match

G. New railing are to be Stainless Steel to match exist.

exist



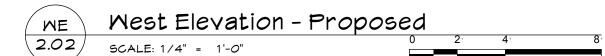
North Elevation - Demo

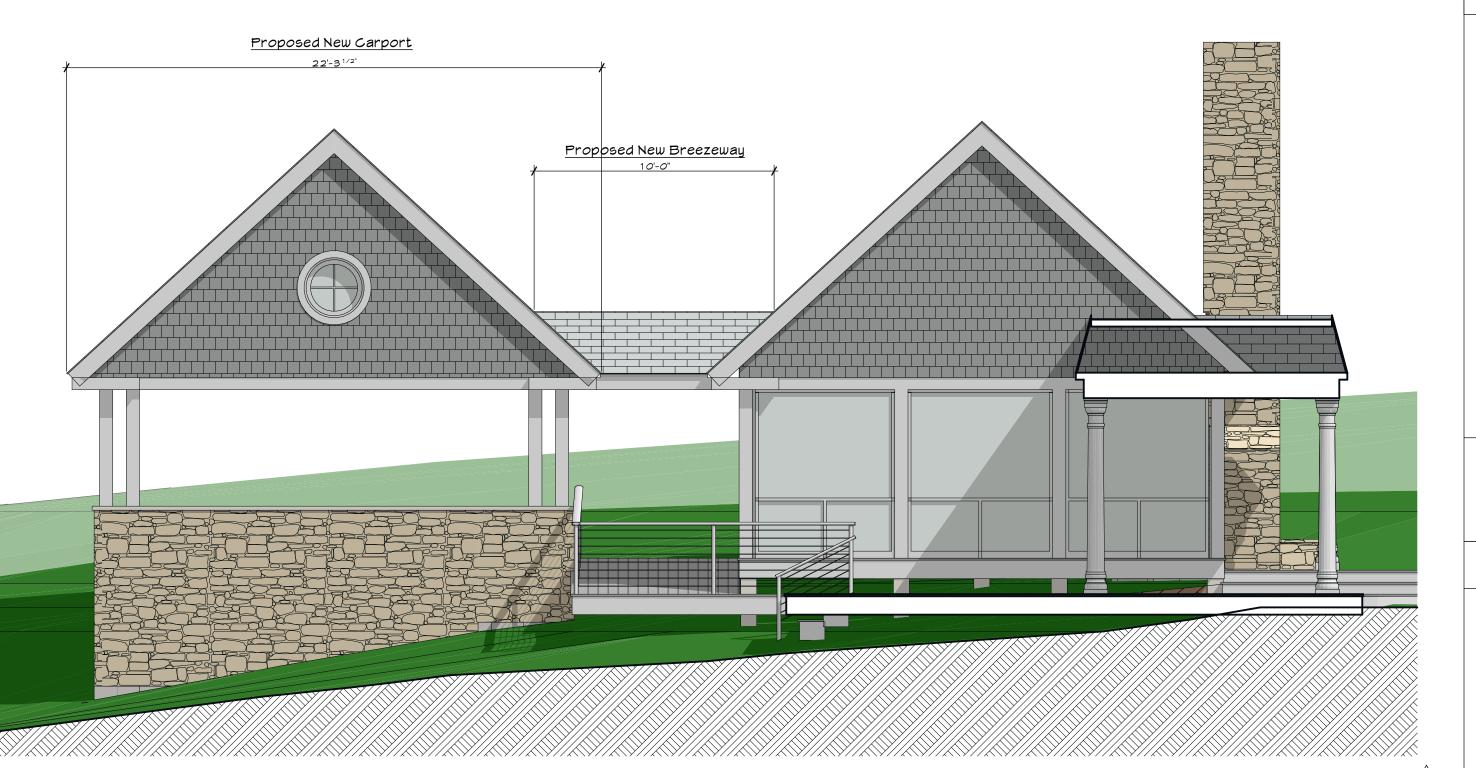


*Refer Landscape Architect drawings for new grading

West Elevation - Demo

SCALE: 1/4" = 1'-0"





*Refer Landscape Architect drawings for new grading



SCALE: 1/4" = 1'-0"

North Elevation - Proposed



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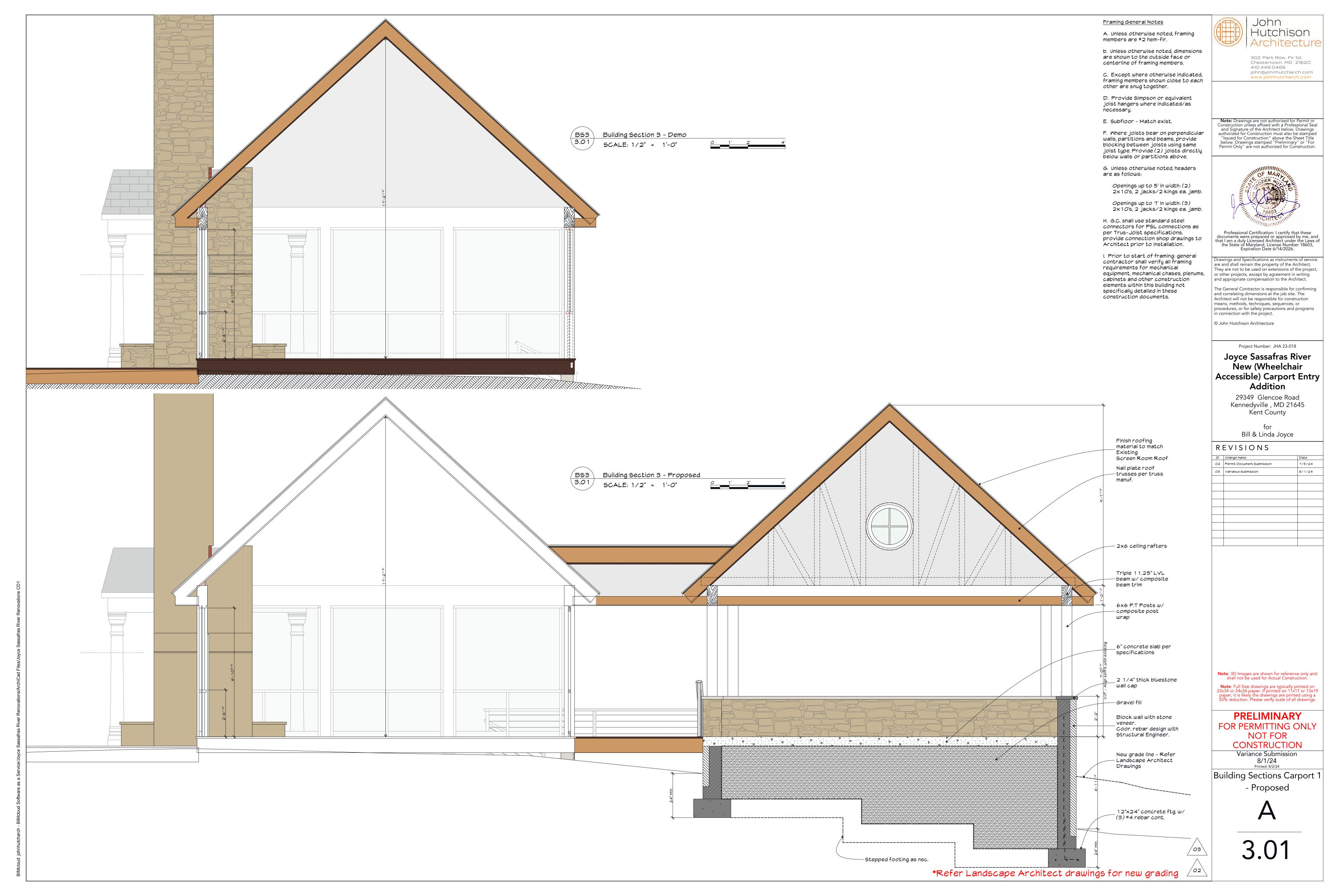
REVISIONS ID Change Name 02 Permit Document Submission

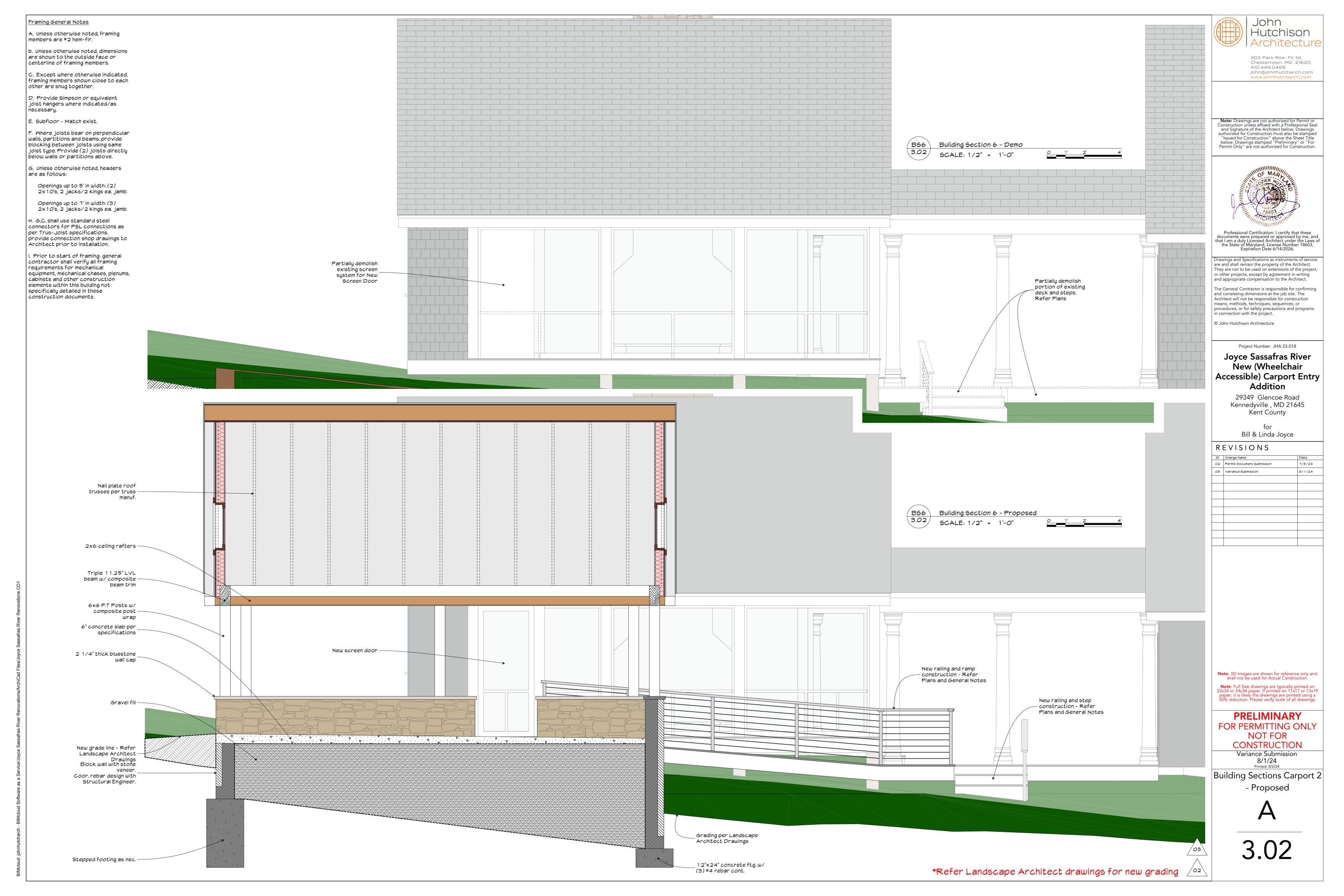
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Variance Submission 8/1/24 Printed: 8/2/24

Exterior Elevations 2

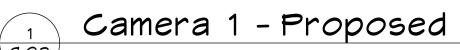






Camera 2 - Demo





Camera 1 - Demo



2 Camera 2 - Proposed



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<i>0</i> 3	Variance Submission	8/1/24

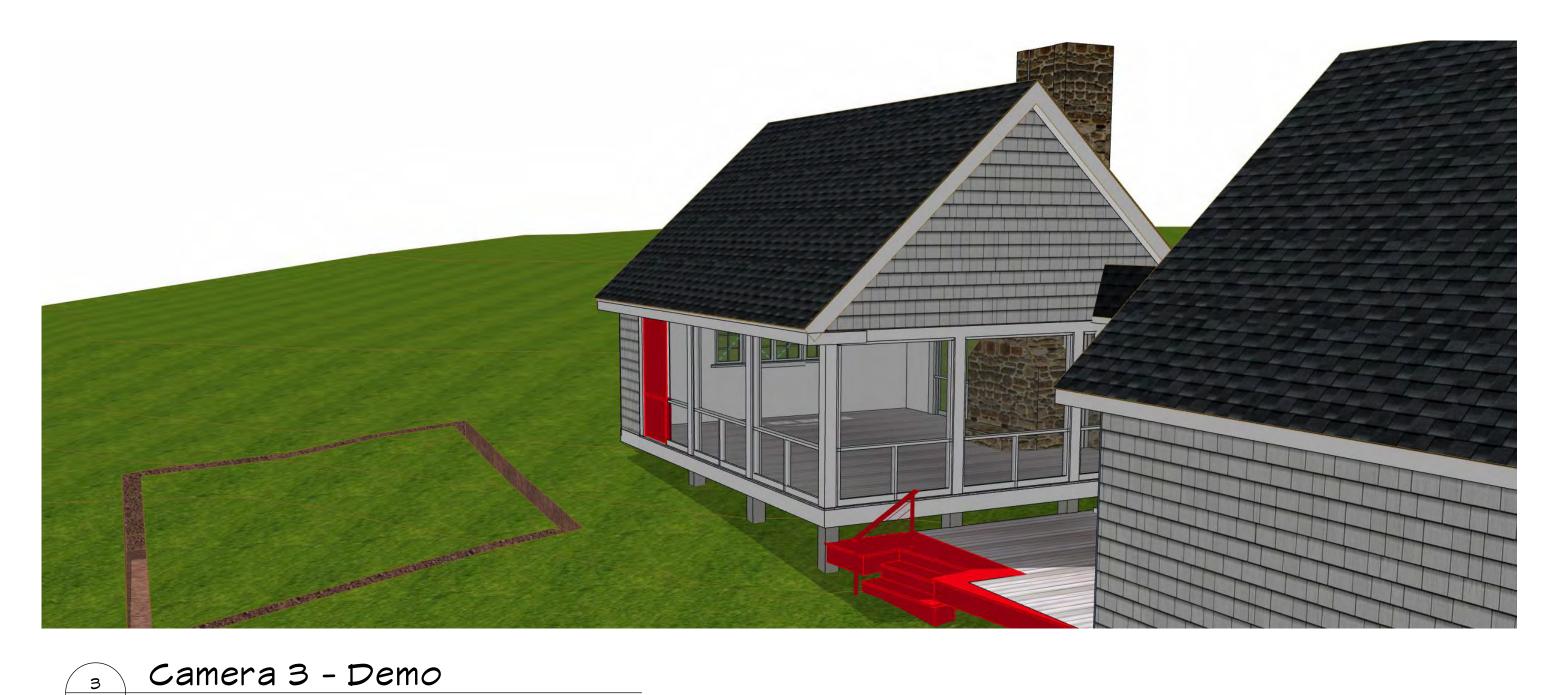
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3D Views Car Port -

Proposed

A





Camera 4 - Demo





Camera 4 - Proposed

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3D Views Car Port -Proposed

