

Kent County Planning Commission

TELEPHONE 410-778-7475

Kent County Government Center
400 High Street
Chestertown, Maryland 21620

FACSIMILE 410-810-2932

County Commissioners Hearing Room MEETING TO BE HELD VIRTUALLY via CONFERENCE CALL

AGENDA
May 7, 2020
1:30 p.m.

COVID-19 Special Announcement Regarding Meeting Attendance

In response to the State of Emergency, individuals must refrain from attending meetings. Planning Commission meetings are live streamed, and citizens may call in with questions when the Chair opens the floor for comment.

To access the Kent County conference bridge service off site:

1. Call 410-810-2213.
2. Enter PIN number **55266** when prompted.
3. Announce yourself to the group. Please mute your phone / device until the Chair opens the floor for comment.

Visit the County's website at <https://www.kentcounty.com> for the most up to date information regarding County Government operations.

MINUTES

April 2, 2020

PUBLIC HEARING

20-17 Richard Carter – Zoning Text Amendment - Microbreweries

AN ACT to amend Article V, Section 10 of the Crossroads Commercial District, 10.2 Permitted Principal Uses and Structures, by adding 10.2.21, to address Microbrewery as defined by the State of Maryland and by adding 10.2.22, Class D Alcohol retail business as defined by the State of Maryland.

APPLICATIONS FOR REVIEW

20-17 Richard Carter – Zoning Text Amendment – Microbreweries

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19-30 The Animal Care Shelter of Kent County (The Humane Society and Kennedyville Properties, LLC) Preliminary Site Plan – 25546 Mary Morris Road – Third Election District – Zoned Industrial “I”PC Decision

STAFF REPORTS

GENERAL DISCUSSION

ADJOURN

Meetings are conducted in Open Session unless otherwise indicated. All or part of the Planning Commission meetings can be held in closed session under the authority of the MD Open Meetings Law by vote of the members. Breaks are at the call of the Chairman. Meetings are subject to audio and video recordings.

Projects will not be reviewed prior to their scheduled time. All applications will be given the time necessary to assure full public participation and a fair and complete review of all projects. Therefore, the time each application is heard may be later than the time indicated on the agenda. Agenda items are subject to change due to cancellations.

Other business without assigned times may be discussed during the course of the meeting.



MINUTES

The Kent County Planning Commission met in regular session on Thursday, April 2, 2020, virtually in the County Commissioners' Hearing Room at 400 High Street, Chestertown, Maryland, with the following members attending via conference call bridge: Elizabeth Morris, Chairman; William Sutton, Vice Chairman; F. Joseph Hickman; Kim Kohl; Commissioner P. Thomas Mason; B. Douglas Megargee; Cynthia L. McCann, Esq.; Staff in attendance were Carla Gerber, GIS Specialist; William Mackey, Director; Robert Tracey, Community Planner; Sandy Adams, Clerk; Beth Grieb, Clerk; and Brian Jones, Clerk.

The following attended and participated in the meeting: Mr. Kevin Shearon of DMS & Associates, LLC; Mr. Jack Kirby of Kirby and Associates, Inc.; and Mr. Martin Holden, Chief of Kent County Environmental Operations.

Ms. Morris called the meeting to order at 1:30 p.m.

MINUTES

The minutes of the meeting on February 6, 2020, were approved as corrected.
The minutes of the meeting on March 5, 2020, were approved as written and distributed.

PUBLIC HEARING

Ms. Morris closed the meeting at 1:34 pm and opened the public hearing.

20-13 County Commissioners of Kent County – Zoning Text Amendment – Directional Signs

Mr. Tracey, describing the proposal, said the Board of Commissioners of Kent County have proposed an amendment to the Kent County Land Use Ordinance Article VI. Special Provisions, Section 2. Signs, 2.4 Exemptions, by adding a new sub-section to address tourism related signs erected by Kent County within the public-rights-of-way to assist the motoring public in locating tourism, heritage development, and marine uses situated within Kent County, Maryland.

Testimony was not offered by the audience; therefore, Ms. Morris closed the public hearing and re-opened the meeting at 1:38 p.m.

APPLICATIONS FOR REVIEW:

APD 19-08 – Wayne H. Thieme – E/S of Massey, 258.57 acres

Wayne Thieme wishes to create an Agricultural Preservation District on his 258.572-acre farm located on Galena Road south of Massey in the first Election District. The farm consists of 253 acres of crop land and 4.5 acres of woodland. Approximately 94% of the soils are considered Class I, II or III. There are no dwellings on the property. The farm is zoned "AZD," Agricultural Zoning District. It is outside the 10-year water and sewer plan.

Mr. Tracey provided background information and the applicable laws as outlined in the staff report. He further noted the farm is located within the Priority Preservation Area. Mr. Tracey advised that the Agricultural Preservation Advisory Board has reviewed the application and recommends approval of the district.

Ms. Morris asked for public comment and there was none.

Ms. Morris asked if any correspondence has been received. Mr. Tracey said no correspondence has been received.

Mr. Sutton made a motion to send a favorable recommendation to the County Commissioners with the following findings:

- At least 50% of the land consists of Soil Capability Classes I, II, or III, or Woodland Groups 1 or 2.
- The land is outside of the 10-year water and sewer service area.
- The property consists of land which is either used primarily for production of food or fiber or is of such open space character and productive capability that continued agricultural production is feasible.
- The Agricultural Preservation Board reviewed this application and unanimously submitted a favorable recommendation.

The property meets or exceeds the criteria for creating an Agricultural Land Preservation District, complies with the goal of the Comprehensive Plan to preserve large blocks of contiguous prime agricultural land, and is located within the County's PPA.

Mr. Hickman seconded the motion, and the motion passed unanimously.

APD 19-09 – Wayne H. Thieme – N/S of Walnut Tree Road, 70.124 acres

Wayne Thieme wishes to create a 70.124-acre Agricultural Preservation District on a portion of his 185-acre farm, as the remaining part of this farm has already been protected by a MALPF easement. The property is located between Maryland Line Road and Walnut Tree Road east of Massey in the First Election District. The proposed district consists entirely of crop land. Approximately 98% of the soils are considered Class I, II or III. There are no dwellings on the property. The farm is zoned "AZD," Agricultural Zoning District. It is outside the 10-year water and sewer plan.

Mr. Tracey provided background information and the applicable laws as outlined in the staff report. He further noted that the farm is located within the Priority Preservation Area. Mr. Tracey advised that the Agricultural Preservation Advisory Board has reviewed the application and recommends approval of the district.

Ms. Morris asked for public comment and there was none.

Ms. Morris asked if any correspondence has been received. Mr. Tracey said no correspondence has been received.

Mr. Sutton made a motion to send a favorable recommendation to the County Commissioners with the following findings:

- The application meets the same criteria as the previous application.

Mr. Hickman seconded the motion, and the motion passed unanimously.

APD 19-10 – Wayne H. Thieme – S of Walnut Tree Road, 295.897 acres

Wayne Thieme wishes to create an Agricultural Preservation District on his 295.897-acre farm located on Walnut Tree Road south of Massey in the First Election District. The farm consists of 252 acres of crop land and 21 acres of wetlands. Approximately 85% of the soils are considered Class I, II or III or Woodland Group 2. There are no dwellings on the property. The farm is zoned “AZD,” Agricultural Zoning District. It is outside the 10-year water and sewer plan.

Mr. Tracey provided background information and the applicable laws as outlined in the staff report. He further noted that this property is located within the Priority Preservation Area. Mr. Tracey advised that the Agricultural Preservation Advisory Board has reviewed the application and recommends approval of the district.

Ms. Morris asked for public comment and there was none.

Ms. Morris asked if any correspondence has been received. Mr. Tracey said no correspondence has been received.

Mr. Sutton made a motion to send a favorable recommendation to the County Commissioners with the following findings:

- The application meets the same criteria as the previous applications.

Mr. Hickman seconded the motion, and the motion passed unanimously.

APD 20-01 – Robin May and Jonathan Reed – Flatland Road, 94 acres

Robin Reed May and Jonathan F. Reed wish to create an Agricultural Preservation District on their 94-acre farm located on Flatland Road outside Chestertown in the Third Election District. The farm consists of 87 acres of crop land and five acres of woodland. Approximately 92.5% of the soils are considered Class I, II or III or Woodland Group 2. There are no dwellings on the property. The farm is zoned “AZD,” Agricultural Zoning District. It is outside the 10-year water and sewer plan.

Mr. Tracey provided background information and the applicable laws as outlined in the staff report. He further noted that this property is located within the Priority Preservation Area. Mr. Tracey advised that the Agricultural Preservation Advisory Board has reviewed the application and recommends approval of the district.

Ms. Morris asked for public comment and there was none.

Ms. Morris asked if any correspondence has been received. Mr. Tracey said no correspondence has been received.

Mr. Sutton made a motion to send a favorable recommendation to the County Commissioners with the following findings:

- The application meets the same criteria as the previous applications.

Mr. Hickman seconded the motion, and the motion passed unanimously.

APD 20-02 – Robin May and Jonathan Reed – 9600 Worton Road, 250.79 acres

Robin Reed May and Jonathan F. Reed wish to create an Agricultural Preservation District on their 250.794-acre farm located at 9600 Worton Road outside Chestertown in the Third Election District. The farm consists of 228 acres of crop land and 10 acres of woodland. Approximately 74% of the soils are considered Class I, II or III or Woodland Group 2. There is one dwelling on the property. An approximately 3-acre gravel pit is located on the south east portion of the farm. Because MALPF regulations prohibit this use, it is being excluded from the ag preservation district. If the farm were to receive an easement offer, MALPF would require the gravel pit to be surveyed so the acreage could be withheld from the easement. The farm is zoned “AZD,” Agricultural Zoning District. It is outside the 10-year water and sewer plan.

Mr. Tracey provided background information and the applicable laws as outlined in the staff report. He further noted that this property is located within the Priority Preservation Area. Mr. Tracey advised that the Agricultural Preservation Advisory Board has reviewed the application and recommends approval of the district.

Ms. Morris asked for public comment and there was none.

Ms. Morris asked if any correspondence has been received. Mr. Tracey said no correspondence has been received.

Mr. Sutton made a motion to send a favorable recommendation to the County Commissioners with the following findings:

- The approximately 3-acre gravel pit is being excluded from the ag preservation district.
- The Agricultural Preservation Board reviewed this application and unanimously submitted a favorable recommendation.
- The property meets or exceeds the criteria for creating an Agricultural Land Preservation District, complies with the goal of the Comprehensive Plan to preserve large blocks of contiguous prime agricultural land, and is located within the County’s PPA.

Mr. Hickman seconded the motion, and the motion passed unanimously.

APD 20-03 – Jonathan and Jane Reed – 24913 Chestertown Road, 233.52 acres

Jonathan and Jane Reed wish to create an Agricultural Preservation District on their 233.52-acre farm located at 24913 Chestertown Road outside Chestertown in the Seventh Election District. The farm consists of 217 acres of crop land and 10 acres of woodland. Approximately 77% of the soils are considered Class I, II or III or Woodland Group 2. There is one dwelling on the property. The farm is zoned “AZD,” Agricultural Zoning District. It is outside the 10-year water and sewer plan.

Mr. Tracey provided background information and the applicable laws as outlined in the staff report. He further noted that this property is located within the Priority Preservation Area. Mr. Tracey advised that the Agricultural Preservation Advisory Board has reviewed the application and recommends approval of the district.

Ms. Morris asked for public comment and there was none.

Ms. Morris asked if any correspondence has been received. Mr. Tracey said no correspondence has been received.

Mr. Sutton made a motion to send a favorable recommendation to the County Commissioners with the following findings:

- The application meets the same criteria as the previous applications.

Mr. Hickman seconded the motion, and the motion passed unanimously.

APD 20-04 – Frank & Janet Lewis – 30475 River Road, 322 acres

Frank R. Lewis, Jr., and Janet C. Lewis wish to create an Agricultural Preservation District on their 322-acre farm located at 30475 River Road near Millington in the First Election District. The farm consists of 236 acres of crop land, 15 acres of pasture, and 52 acres of woodlands. Approximately 89% of the soils are considered Class I, II or III or Woodland Group 2. There is one dwelling on the property. The farm is zoned “AZD,” Agricultural Zoning District and “RCD,” Resource Conservation District. It is outside the 10-year water and sewer plan.

Mr. Tracey provided background information and the applicable laws as outlined in the staff report. He further noted that this property is located within the Priority Preservation Area. Mr. Tracey advised that the Agricultural Preservation Advisory Board has reviewed the application and recommends approval of the district.

Ms. Morris asked for public comment and there was none.

Ms. Morris asked if any correspondence has been received. Mr. Tracey said no correspondence has been received.

Mr. Sutton made a motion to send a favorable recommendation to the County Commissioners with the following findings:

- The application meets the same criteria as the previous applications.

Mr. Hickman seconded the motion, and the motion passed unanimously.

APD 20-05 - Timothy and Mary Catherine Redman – 7939 Bakers Lane, 137.23 acres

Prior to review of this application, Mr. Hickman disclosed that he has a business relationship with the applicants, but he believes he can make a fair and impartial decision.

Timothy and Mary Catherine Redman wish to create an Agricultural Preservation District on their 137-acre farm located at 7939 Bakers Lane outside Chestertown in the Sixth Election District. The farm consists of 131 acres of crop land and four acres of wood lands. Approximately 73% of the soils are considered Class I, II or III or Woodland Group 2. There is one dwelling on the property. The farm is zoned “AZD,” Agricultural Zoning District. It is outside the 10-year water and sewer plan.

Mr. Tracey provided background information and the applicable laws as outlined in the staff report. He further noted that this property is located within the Priority Preservation Area. Mr. Tracey advised that the Agricultural Preservation Advisory Board has reviewed the application and recommends approval of the district.

Ms. Morris asked for public comment and there was none.

Ms. Morris asked if any correspondence has been received. Mr. Tracey said no correspondence has been received.

Mr. Sutton made a motion to send a favorable recommendation to the County Commissioners with the following findings:

- The application meets the same criteria as the previous applications.

Mr. Hickman seconded the motion, and the motion passed unanimously.

20-11 Chester River Yacht and Country Club – Buffer Variance

Present and duly sworn in were Kevin Shearon and Jim Gillespie representing the Chester River Yacht and Country Club.

Ms. Gerber gave a brief overview of the proposal, citing relevant issues, the applicable laws and staff and TAC comments. The applicants wish to increase their onsite parking for an existing

Private Club and Golf Course. In addition to site plan review, the applicants request a variance to allow 828 square feet of lot coverage within the 100-foot Critical Area Buffer. The expanded parking lot will provide 37 additional spaces. The 175-acre property is located on Quaker Neck Road in the Seventh Election District. Ms. Gerber noted the surrounding area is characterized by single-family residential development and the property is zoned Critical Area Residential, "CAR", Community Residential, "CR" and Rural Residential "RR". Ms. Gerber further noted the parking lot expansion is entirely within the CAR district.

Ms. Gerber said it is staff's opinion that granting a variance will not cause a substantial detriment to neighboring properties or change the character of the neighborhood or district. The existing property configuration already has some buffer encroachment, and the existing building is located in such a manner that any other parking lot arrangement would require much more lot coverage in the form of long drives. Additionally, due to the property being split by a State highway, the current parking scenario requires some individuals to cross the State highway in order to access the primary use on the property. This was not due to any action by the applicant, but a peculiar condition of the property, thereby creating a practical difficulty; the test for a variance of the Critical Area buffer is an unwarranted hardship.

Mr. Shearon shared with the Commission the history of the Chester River Yacht and Country Club with regards to past projects and expansions. He said the marina side has seen more expansion in recent years and for safety reasons, it is necessary for the club to expand its parking area.

Ms. Morris asked if any correspondence has been received. Ms. Gerber said no correspondence has been received.

Mr. Hickman wanted to know why the parking could not be located in another area, especially if the Critical Area Commission were to ask the question.

Mr. Shearon stated that they picked the most efficient place to add parking. He said the club is trying to keep large trees and reduce surfacing. Mr. Shearon stated that he is of the opinion that the new parking area should be considered a water-dependent use and therefore exempt from complying with the 100-foot buffer requirements.

Ms. Gerber stated that she did not believe that the request met the standard for a water dependent use and would need to verify with the Critical Area Commission if marina parking is considered a water-dependent use. Lacking that information, she opined that the project does not meet the letter of the law, and she would still have a hard time making a favorable recommendation.

After further discussion and additional questions, Mr. Hickman made a motion to send a favorable recommendation for the variance to the Board of Appeals to allow 828 square feet of lot coverage in the 100-foot Critical Area buffer to expand the parking area based on the following findings:

- Granting a variance will not cause a substantial detriment to neighboring properties nor will it change the character of the neighborhood and district.
- The granting of the variance will not adversely affect water quality or adversely impact fish, wildlife, or plant habitat.

- The use of pervious pavers will minimize impervious surfaces and the design protects mature trees.
- Based on the information received to date, the application is in harmony with the Critical Area Law and general spirit and intent of the Land Use Ordinance.
- The granting of the variance does not confer any special privileges that would be denied to other similar lands and uses.
- The reasonable use of the entire property was considered.

Mr. Megargee seconded the motion, and the motion passed unanimously.

20-12 Chester River Yacht and Country Club – Major Site Plan (Concept)

Ms. Gerber provided an overview of the concept site plan. Article VI, Section 5.3 of the Kent County Land Use Ordinance establishes site plan review procedures. Concept review is an opportunity for the Planning Commission to comment on the proposal. No votes are taken.

Ms. Gerber reminded the applicants that they need to make every effort to integrate the proposed parking area into the existing landscape by providing an adequate vegetative buffer, roadside plantings, and landscaping within the proposed parking area. The applicant will need to present landscaping plans before final site plan review.

The applicants also need to submit storm-water management and sediment control plans before final site plan review.

Mr. Shearon briefly discussed with the Commission the landscaping plans which include adding plantings and more trees and shrubs.

19-35 Remus S. Butler, Jr., and Franklin C. and Wynne D. Butler – Variances (Side Yards and Minimum Lot Size)

Present and duly sworn in representing the applicant was Jack Kirby, Kirby and Associates, Inc.

Ms. Gerber gave a brief overview of the proposal, citing relevant issues, and staff and TAC comments. She said in order to complete an adjustment of lot lines, Remus S. Butler, Jr., is requesting a 4-foot and 0.3-foot variance from the minimum 8-foot side yard setback requirement for a dwelling and a 2,530.4 square foot variance from the 9,500 square foot minimum lot size requirement that will help minimize existing nonconformities on two parcels. Ms. Gerber also noted as part of the same application, Franklin C. and Wynne D. Butler are requesting a 3-foot variance from the minimum 8-foot side yard setback requirement for an accessory structure. She said the properties are located at 8600 and 8610 Caulks Field Road in the Sixth Election District and are zoned Village.

Ms. Gerber said the variance will not cause a substantial detriment to adjacent or neighboring properties and will not change the character of the neighborhood. The Comprehensive Plan is neutral on this application. Ms. Gerber stated there was no correspondence received.

Mr. Hickman wanted to know if the property was on public water and sewer. Ms. Gerber confirmed that the property is on public water and sewer.

After further discussion, Mr. Hickman made a motion to send a favorable recommendation to the Board of Appeals based on the following findings:

- Granting a variance will not cause a substantial detriment to neighboring properties nor will it change the character of the neighborhood and district.
- The Comprehensive Plan is neutral on this issue and the proposal is consistent with the general intent of the Land Use Ordinance.
- The practical difficulty is caused by the unusual size and shape of the property.
- The reasonable use of the entire property was considered.

The motion was seconded by Mr. Megargee, and the motion passed unanimously.

20-13 County Commissioners of Kent County – Zoning Text Amendment – Directional Signs

Mr. Tracey, describing the Zoning Text Amendment, said that on March 3, 2020, the Kent County Commissioners adopted a resolution to consider a Zoning Text Amendment to add a provision for tourism-related signs. The signs would be located within the public rights-of-way and erected by Kent County. The desire is to assist the motoring public in locating tourism, heritage development and marine uses that are not readily visible from the road. The signs would be approved by the Kent County Commissioners and general guidelines would be developed by appropriate County departments. This would be an act to amend Article VI, Special Provisions, Section 2, Signs, 2.4. The proposal is consistent with numerous goals of the Kent County Comprehensive Plan such as supporting businesses, maintaining and strengthening working lands-based industries, and enhancing and expanding locally based tourism.

Mr. Tracey said no correspondence has been received.

Mr. Hickman asked if the signs will have business names on them.

Ms. Gerber commented that she believes the signs will have individual business names on them. She said they will not be like your standard state issued tourism-based signs. Ms. Gerber also discussed the design process and guidelines.

Mr. Megargee said he believes there will be an objection to business specific signs, and he thinks the signs should be kept generic.

There were questions as to whether the signs would only be for permanent businesses or also for special events.

Mr. Mackey said the signs could be used for special events, but the intention is for the signs to be wayfinding signs to direct people to uses not visible from the roadway. Mr. Mackey further stated that the businesses would work with the County to develop the signs, and they would be

responsible for all costs. He said after the sign is completed, the County would place the sign on a County right-of-way, and it would be a County owned sign.

After further discussion and additional concerns expressed by the Commission, Mr. Hickman made a motion to send an unfavorable recommendation for the proposed Zoning Text Amendment to the County Commissioners based on the following findings:

- The definitions of tourism, heritage development and marine uses are not clearly defined;
- Motoring public from state highways is not clearly defined, as the County right-of-way does not define what happens in the State right-of-way;
- The government would be controlling who gets the signs;
- Petitions could be from private or non-profits describing what their efforts are and what their standards are to get a sign;
- Understands this is meant for all good intentions, not debating that, but the amendment is a little wide open and could see it not being very well handled; and
- Recommends staff to craft a better amendment to the Article in the future.

Mr. Megargee seconded the motion, and the motion passed unanimously.

Office Building Recycling (OBR) Plan for Kent County – Senate Bill 370

Mr. Tracey described the proposal which outlines the County's plan to require recycling in office buildings larger than 150,000 square feet. The County must amend the 10-year Solid Waste/Recycling Management Plan to include the subject of Office Building Recycling (OBR) as required by Senate Bill 370. Before adoption of the amendment to the County's Solid Waste/Recycling Management Plan, the County is required to submit the plan to the County's planning department for its certification of the OBR plan. Mr. Tracey further noted the proposal is consistent with the Kent County Comprehensive Plan which encourages household and business recycling. Staff recommends approval.

Ms. Morris wanted to know if any correspondence has been received. Mr. Tracey said no correspondence has been received.

Marty Holden, Chief of Environmental Operations, commented that the OBR plan is very similar to the Apartment Building Recycling Program, and as of right now, Kent County does not have any office buildings that would be required to comply with the requirements.

Ms. Morris asked for public comment and there was none.

Ms. Morris said the Commission approves of the OBR Plan as written.

STAFF REPORTS

Ms. Morris acknowledged the planning staff for their hard work.

Carla Gerber:

- Ms. Gerber reminded everyone of the 2020 Census. She said events scheduled by the Complete Count Committee promoting the 2020 Census have been canceled, but they will be hosting Facebook live events. Ms. Gerber said tablets will be used at some of the food distribution sites to encourage everyone to participate by filling out their census forms.

Rob Tracey:

- Mr. Tracey informed the Commission that he is continuing to work on projects and permit reviews.

Cynthia McCann:

- Ms. McCann said she is excited to serve the County and to work with the Planning Commission.

GENERAL DISCUSSION

- Ms. Kohl suggested the Commission explore video conferencing options for future meetings.
- Ms. Morris encouraged everyone to stay safe and to utilize safety precautions during the State of Emergency.

ADJOURN

There being no further business for the good of the organization, the meeting was adjourned at 3:19 p.m.

Elizabeth Morris, Chairman

Brian Jones, Clerk

PRELIMINARY STAFF REPORT

TO: Kent County Planning Commission
SUBJECT: Zoning Text Amendment – Microbreweries in Crossroads Commercial
DATE: April 24, 2020

DESCRIPTION OF PROPOSAL

The applicant, Richard Carter, proposes to amend Article V, Section 10 of the Crossroads Commercial District, by adding 10.2.21, Microbreweries as defined by the State of Maryland, and by adding 10.2.22, Class D Alcohol retail business as defined by the State of Maryland. Microbreweries are a permitted use, subject to site plan review, in the Commercial zoning district; this amendment would permit microbreweries in the Crossroads Commercial zoning district, subject to site plan review. The Class D Alcohol retail business, as defined by the State of Maryland, would allow the applicant to sell beer, wine, and liquor to adults 21 or older for consumption on-premise.

APPLICABLE LAW

Article XII, Section 6 of the *Kent County Land Use Ordinance* establishes the standards for the review and approval of a zoning text amendment as follows.

1. The County Commissioners may amend, supplement, or change the boundaries of the districts or the regulations of this Ordinance. Any amendment may be initiated by a resolution of the County Commissioners, the motion of the Planning Commission, or petition of any property owner using forms specified by the Planning Commission.
2. The application for an amendment to the text of the Ordinance shall, at a minimum, state in particular the article section, and paragraph sought to be amended. The application shall contain the language of the proposed amendment and shall recite the reasons for the proposed change in text.
4. Before taking any action on any proposed amendment, supplement, or change, the County Commissioners shall submit the proposal to the Planning Commission for review and recommendation. The Planning Commission may hold a hearing on any proposed amendment, supplement, or change before submitting its recommendation to the County Commissioners. The Planning Commission may request any pertinent data and information as it deems necessary. In its recommendation, the Planning Commission shall address:
 - a) The public need for the proposed amendment; and
 - b) The extent to which the proposed amendment complies with or deviates from the Comprehensive Plan and the Critical Area Law.
 - c) When reviewing an amendment to the zoning map, the Planning Commission shall address the suitability of the property in question for the uses permitted under the proposed zoning. The Planning Commission shall not recommend the adoption of the amendment unless it finds that the adoption of the amendment is in the public interest and not solely for the interest of the applicant. Failure of the Planning Commission to report to the County Commissioners within 60 days after its first meeting after the proposal was referred to them, shall be deemed approval.

COMPREHENSIVE PLAN

The proposed text amendment is consistent with the Kent County Comprehensive Plan's strategies to promote the development of small, locally owned businesses; recruit new businesses that are desirable to the community and encourage more young people to live and work in Kent County.

STAFF COMMENTS

Microbreweries are a permitted use in the Commercial zoning district; the proposed amendment would expand this use to the Crossroads Commercial District. The Crossroads Commercial District currently allows restaurants, without drive-through service, and retail businesses as permitted uses. Under State law, a microbrewery has limits on the amount of beer that can be produced each year, as well as on the amount that can be sold for consumption on-premises. The first proposed new use in the zoning text amendment would allow for the brewing and tasting of beer produced on-site. The second proposed use, Class D Alcohol retail business, as defined by the State of Maryland, would allow a license holder to sell alcoholic beverages, not produced on-premises, to adults over the age of 21. The applicant's narrative related to the proposed zoning text amendment states that selling other locally crafted beverages from a microbrewery tasting room could help promote and market the microbrewery industry on the eastern shore.

Microbreweries allow for the development of small, locally owned businesses, and tasting rooms potentially support tourism by creating another activity to draw visitors to the community. The use adds additional flexibility to the Crossroads Commercial District.

Staff recommends sending a favorable recommendation to the Kent County Commissioners.

APPLICATION FOR TEXT AMENDMENT TO THE
KENT COUNTY LAND USE ORDINANCE
KENT COUNTY, MARYLAND

Kent County Department of Planning, Housing and Zoning

Kent County Government Center
400 High Street • Chestertown, MD 21620
410-778-7475 (phone) • 410-810-2932 (fax)

Pursuant to Article XII, "Administrative Procedures" Section 6, "Amendments", of the Kent County Land Use Ordinance, I/We Richard Carter

of 5914 Rock Hall Road, Rock Hall, MD 21661 443-370-7926
Address **Applicant's Name** **Telephone Number**

hereby petition the Kent County Commissioners to amend the Land Use Ordinance of Kent County, Maryland, as follows: Update Section 10.2, Crossroads Commercial District as follows: 10.2.21. Microbrewery as defined by the State of Maryland 10.2.22. Class D Alcohol Retail business as defined by the State of Maryland.

It should be noted that these uses are currently permitted in other districts

The purpose of the proposed amendment is to permit: operation of a microbrewery and a Class D Tavern at 5914 Rock Hall Road, Rock Hall, MD 21661. This is part of a plan to promote craft beer tourism and economic development in Kent County.

Richard A. C.

Applicant's Signature

March 17, 2020

Date

Please Note: The application for an amendment to the text of this Ordinance shall, at a minimum state in particular, the Article, Section, and paragraph sought to be amended. The application shall contain the language of the proposed amendment.

Instructions: The Land Use Ordinance requires that five (5) copies for Zoning Text Amendment be submitted to the Executive Assistant to the County Commissioners accompanied by \$500.00 filing fee, payable to the County Commissioners of Kent County.

For Office Use Only:

File Number _____
Date Filed _____
Date Referred to Planning Commission _____
Date Recommend. Rec'd from Plan. Comm. _____
County Comm. Public Hearing Date _____
County Commissioners Action _____
Date of Action _____
Property Posted _____

SECTION 10 CROSSROADS COMMERCIAL DISTRICT

10.1 STATEMENT OF INTENT

The purpose of this district is to provide appropriate locations for a broad range of commercial activities such as retail, wholesale, and contracting activities serving the local community. These activities are primarily oriented to highway uses rather than central business locations. Crossroads Commercial districts are generally located at the intersection of major highways. Because these uses are located subject to public view, which is a concern of the whole community, they should provide an appropriate appearance, controlled traffic movement, ample landscaping, and protect adjacent properties from the traffic and visual impacts associated with the commercial use. It is the intent that a Crossroads Commercial District shall have a minimum frontage of 150 feet on a single primary road. Whenever possible, frontage of the district shall not exceed depth.

10.2 PERMITTED PRINCIPAL USES AND STRUCTURES

A building or land may be used only for the following purposes, in all cases subject to site plan review by the Planning Commission, or where applicable the Planning Director.

1. Agriculture, excluding the raising of livestock and fowl, including horticulture, hydroponics, and truck farming, general farming, cultivation of field crops, and raising of orchards, groves, and nurseries.
2. Automobile repair
3. Automobile service stations
4. Car wash provided the waste water is recycled
5. Circus or carnival, midways and amusement parks, temporary, for a period of time not to exceed one week per year
6. Country inn
7. Financial institutions
8. Fire and rescue squad stations
9. Home and business services such as grounds care, cleaning, exterminators, landscaping, and other repair and maintenance services
10. Hotels and motels
11. Machinery and equipment sales
12. Modular building sales not including the storage of modular buildings
13. Motor vehicle sales, service, and rental
14. Personal wireless facilities collocated on existing towers, water towers, electrical transmission towers, fire towers, silos, grain dryers, or other structures provided the height of the existing structure is not above that permitted by this Ordinance.

15. Public uses, buildings and utilities. Public buildings and uses include but are not limited to schools, offices, parks, playgrounds, and roads funded and owned and operated by the local, state, or federal agencies, but not including major sports facilities. Public utilities are water, sewer, electric, gas, oil, and communication facilities owned and operated by the Kent County Department of Water and Wastewater or other public utility. Public utilities include substations, poles, lines, transformers, pipes, meters, treatment facilities, pumping stations and appurtenances but not including transmission towers. Power plants and the like are not permitted.

16. Restaurant without drive through facilities

17. Retail businesses, supplying on the premises, household goods, new automotive parts, agricultural supplies and commodities, sporting goods, and the like, including department, outlet and discount stores provided: a. All retail sales and/or storage shall be conducted entirely within a building except where otherwise approved by the Planning Commission. b. The building size does not exceed 20,000 square feet.

18. Retail nurseries and greenhouses

19. Veterinary hospitals and offices

20. Wayside stands - vegetable and agricultural produce

[21. Microbrewery as defined by the State of Maryland**](#)

[22. Class D Alcohol retail business as defined by the State of Maryland](#)

* Amended 9/6/11; ** Amended 4/3/18



Proposed Amendment to Kent County Land Use Ordinance for Section 10.2 Crossroads Commercial District.

I, Richard Carter, respectfully request the amendments I have listed in the application herein attached. We have been working closely with breweries, wineries, distilleries and other artisans / small businesses throughout the Upper Eastern Shore of Maryland to initiate economic development via craft beverage tourism.

In the past 40 years this industry has grown at tremendous rates nationwide. Breweries have increased from 89 to over 7,000. Wineries have increased from 3,000 to over 10,000. Distilleries have increased from less than 100 to over 2,000. The vast majority of these establishments have little, or zero, outside distribution. They are destinations. Throughout the USA and beyond, these companies have created jobs, revitalized small towns and helped spark renewal in urban neighborhoods. They have proven to be effective economic development engines.

These establishments have proven especially attractive to people in the age 21 – 45 demographic. They attract young singles, couples and even family groups. We believe that Kent County will see increased tourism by the opening of facilities such as those I am proposing

I am not seeking uses that will deviate in any significant way from the County Comprehensive Plan. I do not seek to build new structures or create new paved surfaces. I propose to re-purpose an existing commercial structure in a way that I believe will increase economic activity in Kent County with virtually zero environmental impact or disruption to the community. In fact, we have received overwhelming support from local Rock Hall residents.

I propose to renovate my property at 5914 Rock Hall Road, in Rock Hall, Kent County, Maryland, to house a Microbrewery and a Class D Tavern, per the definitions of the State of Maryland. The purpose of these businesses is to attract craft beverage tourism by manufacturing quality Kent County beers and selling beers, wines and distilled spirits created by manufacturers on the Upper Eastern Shore of Maryland. In addition to this, we are planning to provide bus tours to local craft beverage companies, as well as historic sites, agricultural sites and other artisan venues.

A portion of the interior of our property will be converted into a tasting room and bottle shop. Another portion of the building will be converted into a microbrewery. These will be separate businesses with unique ownerships to comply with Maryland's three-tier alcohol distribution rules.

I will not be making structural changes to the building or creating any additions. I will remodel the interior to accommodate the proposed businesses and to ensure that all electrical and mechanical systems meet current building codes. I plan no construction that will create sediment or run-off issues.

Based on county parking requirements I currently have 13 parking spaces that are asphalt and 6 that are gravel, with ample room on our 1.18 acres to create additional spaces. I have approximately 165 feet of frontage on State Route 20.

The building encloses 3254 square feet. It is 71 years old and was used as a gas station and auto repair shop. The fuel tanks have been removed and the soil tested and approved as not contaminated by the State of Maryland.

The brewery operation will consist of not more than two 1-barrel brewhouses. I will be brewing for sale in the tavern located on-site, with potential sales to local restaurants in Rock Hall and Chestertown. There are no plans to expand beyond that. My mission is to attract tourists.



I anticipate that permitting this text amendment will allow us to operate businesses that will create 4 - 6 Full-Time jobs and 4 – 6 Part Time jobs.

In addition to this property and bus tours, I have developed a mobile app for craft beverages, artisans, marinas, inns, restaurants and activities. I have also launched a digital magazine to promote Eastern Shore businesses. As previously stated, the microbrewery and tavern are part of a broader mission to promote tourism and economic development in our community. I look forward to working with Kent County to make these goals a reality.



Kent County Department of Planning, Housing, and Zoning

To: Kent County Planning Commission
From: Rob Tracey, Community Planner
Meeting: April 29, 2020
Subject: Animal Care Shelter for Kent County/The Humane Society of Kent County, Inc.
Preliminary Site Plan

EXECUTIVE SUMMARY

Request by Applicant

The Animal Care Shelter for Kent County (The Humane Society of Kent County, Inc.) is requesting preliminary approval to construct a 10,648 square-foot facility for the care and boarding of domestic animals. The facility will include an animal enrichment training center as well as a veterinary office. The property is located on Route 297 in the Third Election District.

Public Process

Per Maryland State Law and Article VI, Section 5 of the Kent County *Land Use Ordinance* the Planning Commission shall review and approve Major Site Plans.

Summary of Staff Report

The property is zoned Industrial (I) and the parcel is comprised of an open field with a hedgerow along the edge of Route 297. The surrounding area is agricultural land and housing. The minor subdivision which created the five-acre parcel, was recorded on April 4, 2020. Conceptual site plan comments were provided by the Planning Commission on February 6th.

The applicant has sufficiently addressed all the preliminary site plan and all industrial zoning standards as prescribed by the Kent County Land Use Ordinance.

Recommendation

Staff recommends granting preliminary site plan approval.

Please note that the following will need to be addressed, in order to receive preliminary site plan approval:

- Stormwater management and sediment control plans must be approved, and any required sureties must be submitted.
- The Forest Conservation Plan and Forest Conservation Deed Restrictions must be approved, and any required sureties must be submitted.
- The final landscaping plan and any required sureties must be submitted.

PRELIMINARY STAFF REPORT

TO: Kent County Planning Commission
SUBJECT: Animal Care Shelter for Kent County/The Humane Society of Kent County, Inc.
Preliminary Site Plan
DATE: April 29, 2020

DESCRIPTION OF PROPOSAL

The Animal Care Shelter for Kent County (The Humane Society of Kent County, Inc.) is requesting preliminary approval to construct a 10,648 square-foot facility for the care and boarding of domestic animals. The minor subdivision which created the five-acre parcel, was recorded on April 4, 2020. The facility will include an animal enrichment training center as well as a veterinary office. The property is located on Worton Road between Worton and Chestertown in the Third Election District and is zoned Industrial (I). The parcel is comprised of an open field with a hedgerow along the edge of Route 297. The surrounding area is agricultural land and housing.

GENERAL STANDARDS

I. Permitted and Accessory Uses

- A. *Comprehensive Plan*: “Retain and promote existing businesses and assist in their growth.” (Page 8)
- B. *Applicable Law*: Article V, Section 15.2 of the Kent County *Land Use Ordinance* establishes a site plan review requirement for all permitted principal uses and structures in the Industrial District. Animal shelters are a permitted use in the Industrial zoning district
- C. *Staff and TAC Comments*: The proposed 10,648 square foot facility for the care and boarding of domestic animals is proposed on a newly subdivided 5-acre parcel. The facility will include an animal enrichment training center as well as a veterinary office.

II. Density, Height, Width, Bulk, and Fence Requirements

- A. *Applicable Law*: Article V, Section 15.5 of the Kent County *Land Use Ordinance* establishes the Density, Height, Width, Bulk, and Fence Requirements as follows for this industrial project:

	<u>Standard</u>
Minimum yard	
- Front	
- Existing Primary road	100 feet
- Side and Rear	
- Adjacent to EC, I, ICA-LDA, & ICA	15 feet

- B. *Staff and TAC Comments*: The proposed animal shelter facility meets all required setbacks.

III. Industrial Performance Standards

- A. *Comprehensive Plan*: “Insure that future development, redevelopment, and infill is completed in an environmentally and context sensitive manner.” (Page 31)
- B. *Applicable Law*: Article V, Section 15.6 of the Kent County *Land Use Ordinance* establishes the Industrial Performance Standards. These performance standards address noise, vibration, glare, air pollution, water pollution, radioactivity, electrical interference, smoke and particulate matter, toxic matter, and odor with compliance certified in an engineer’s report. Section 11 requires that each future occupant as a part of final site plan review submit a certified engineer’s report describing the proposed operation, processes, by-products, and emissions.

- C. *Staff and TAC Comments:* The applicant has adequately addressed the performance standards in the submitted narrative, as well as the certified engineer's report. The engineer's report and affiliated narrative notes that animal shelters and kennels inherently produce noise; however, the project has been designed to aid in the reduction of sound through the selection of building materials.

IV. Industrial General Standards

- A. *Applicable Law:* Article V, Section 15.7 of the Kent County *Land Use Ordinance* establishes the Industrial General Standards (applicable standards noted as follows):

1. As a part of the site plan review, the applicant shall submit a statement that includes an explanation of the following:
 - a. The type of raw materials, waste products, and other by-products associated with the process.
 - b. The identity of all chemicals and solids to be discharged into the sewage system.
 - c. The type and amount of traffic expected to be generated by the operation.
 - d. The proposed hours of operation.
 - e. The proposed architectural design (graphic or narrative) of all structures.
4. Central water and sewer systems may be required by the Planning Commission in an Industrial District. If a public system is available, use of such system shall be mandatory.
5. Signs in industrial areas shall be permitted in accordance with the regulations contained in Article VI, Section 2 of the *Land Use Ordinance*.
6. Minimum off-street parking and loading spaces shall be required of each use in an Industrial District in accordance with the regulations contained in Article VI, Section 1 of the *Land Use Ordinance*.
7. In so far as possible, all uses shall be conducted within a completely enclosed structure or be completely screened. Finished or semi-finished products manufactured on the premises may be stored in the open if screened from the street and adjacent uses.

- B. *Staff and TAC Comments:*

- The performance standards narrative addresses raw materials, waste products, and other by-products. All solid waste, including toys, are collected both inside and outside the facility, bagged and placed in the trash. The applicant's narrative on Industrial Performance Standards explains that odorous matter will not be detectable from the property boundary or beyond.
- With respect to traffic, only one point of access to a primary road is proposed at this time.
- The applicant's narrative states that the site will employ ten full-time employees and ten volunteers. The hours of operation for staff will be from 7:30 am to 7:30 pm while the visitor hours will fluctuate but will typically include 5-6 hours per day, seven days a week.
- The applicant's narrative states that the site is intended to be served by public water and public sewer. A 30-foot wide utility easement has been added along the property frontage for the benefit of extending the sewer and water lines to serve the balance of the Kennedyville Properties, LLC, parcel. The applicant acknowledges that a Public Works Agreement is required for the installation of water and sewer improvements. Additionally, the applicant is developing a property access easement for the grinder pump unit.
- The narrative states that insofar as possible, all uses will be conducted within a completely enclosed structure or be screened.

V. Industrial Environmental Standards

- A. *Applicable Law:* Article V, Section 15.8 of the Kent County *Land Use Ordinance* establishes the Industrial Environmental Standards, which include the forest conservation and stormwater management standards. The purpose of these standards is to provide for the proper stewardship of the County's natural

resources. Specifically, it is the overall goal of the County to maintain the quality of the County's ecosystem in the face of continuing activity, growth and change.

- B. *Staff and TAC Comments:* No existing forest currently exists on the parcel. The applicant has proposed to set aside and plant 0.75 acres of trees for Forest Conservation. A Forest Conservation Plan has been submitted and identifies the area of the proposed afforestation.

Though the Forest Conservation Plan has been submitted, the applicant still needs to provide a Forest Conservation Declaration (Deed Restrictions) addressing the long-term protection of the afforestation area before final approval. In addition, appropriate sureties must be submitted prior to final site plan approval.

Sediment and Erosion Control and Stormwater Management Plans have been submitted. The applicant's narrative states that stormwater management will be provided for the site to meet the current standards. Both plans must be approved prior to final site plan approval. Appropriate sureties must be submitted prior to final plan approval.

VI. Industrial District General Design Standards

- A. *Applicable Law:* Article V, Section 15.9 of the Kent County *Land Use Ordinance* establishes the Industrial District General Design Standards which address site access, landscaping, screening, and lighting. Screening is required to protect adjoining properties and roadways from noise, glare, and uses which are visually incompatible with neighboring land uses. Screening is also required where exterior storage areas are visible from roadways, sidewalks, or nearby residential properties, or where the Planning Commission determines that additional screening is necessary to protect properties in the area. When required, the screen shall be capable of providing year-round screening and consist of coniferous and deciduous trees and plants, species and sizes of which will be chosen to best accomplish an adequate screen (i.e. evergreens used for visual screening, deciduous trees for seasonal screening). Screening may include masonry, or wooden fencing used with or without berms. Screening and fencing shall be maintained in at least the same quality and quantity as initially approved.
- B. *Staff and TAC Comments:* The applicant is proposing one access from Route 297. Landscaping, screening, and lighting plans have submitted. An existing hedgerow along route 297 is proposed to be removed to increase visibility of the proposed site sign and for access to the property from Route 297. A mix of canopy and understory trees, as well as conifers are proposed along the south property line, in different locations along the walking path, and around the facility. The proposed screening will adequately protect adjoining properties and roadways from noise and glare. Biorention areas, comprised of perennials and shrubs, are proposed in the middle of the parking lot and behind the cat silo. Dark sky compatible lighting is proposed in different locations along the walking path and on the fences of the outside dog yards.

VII. Parking and Loading

- A. *Applicable Law:* Article VI, Section 1.3 of the Kent County *Land Use Ordinance* establishes the parking standards for kennels based on 1 parking space per 400 square feet of gross floor area, but not less than 4 spaces.
- B. *Staff and TAC Comments:* The applicant is required to provide a minimum of 27 spaces. According to the narrative, the Humane Society plans to provide 40 parking spaces.

VIII. Signage

- A. Article VI, Section 2.5 of the Kent County Land Use Ordinance establishes permitted signs for the Industrial zoning district. This section states that parcels zoned Industrial are permitted to have "one

detached sign per parcel limited to 25 square feet and a height of 25 feet.” Directional signs, limited to 4 square feet, are considered incidental signs and are permitted in any district as needed.

- B. According to the signage and lighting plan, the applicants propose two detached signs and two directional signs attached to the building. Plans submitted by the applicant included detached ground lighting. Currently, as proposed, the signs do not comply with the County regulations; however, Staff is working with the applicant to resolve this issue.

SITE PLAN REVIEW

- A. *Comprehensive Plan*: “Insure that all new development or redevelopment meets high standards of planning, workmanship, and design.” (Page 31)

“Require developers to engage and inform citizens during the development review process through the incorporation of a participation program.” (Page 27)

- B. *Applicable Law*: Article VI, Section 5 of the Kent County *Land Use Ordinance* establishes the procedures and requirements for site plan review. At each stage of review the Planning Commission shall review the site plan and supporting documents taking into consideration the reasonable fulfillment of the following objectives:

- a. Conformance with the Comprehensive Plan and, where applicable, the Village Master Plan.
- b. Conformance with the provisions of all applicable rules and regulations of county, state, and federal agencies.
- c. Convenience and safety of both vehicular and pedestrian movement within the site and in relationship to adjoining ways and properties.
- d. Provisions for the off-street loading and unloading of vehicles incidental to the normal operation of the establishment, adequate lighting, and internal traffic control.
- e. Reasonable demands placed on public services and infrastructure.
- f. Adequacy of methods for sewage and refuse disposal, and the protection from pollution of both surface waters and groundwater. This includes minimizing soil erosion both during and after construction.
- g. Protection of abutting properties and County amenities from any undue disturbance caused by excessive or unreasonable noise, smoke, vapors, fumes, dust, odors, glare, stormwater runoff, etc.
- h. Minimizing the area over which existing vegetation is to be removed. Where tree removal is required, special attention shall be given to planting of replacement trees.
- i. The applicant’s efforts to integrate the proposed development into the existing landscape through design features such as vegetative buffers, roadside plantings, and the retention of open space and agricultural land.
- j. The building setbacks, area, and location of parking, architectural compatibility, signage, and landscaping of the development, and how these features harmonize with the surrounding townscape and the natural landscape.

In addition, the applicant is to provide a narrative that addresses a Citizen Participation Plan and a report with the results.

- C. *Staff and TAC Comments*:

- The proposal is consistent with many strategies of the Comprehensive Plan and conforms with applicable regulations.
- The applicant has proposed one access point from Route 297. The parking lot has been located to

the side of the building and includes a landscape bio-retention island and walkways for both the convenience and safety of vehicular and pedestrian movement. The provided off-street parking meets the requirements.

- An area for off-street loading and unloading has been provided and adequate dark sky compatible lighting has been proposed within the parking area, along the perimeter of the dog yard areas, and in different locations along the walking path.
- The facility will place reasonable demands on public water and sewer. The proposed use should not require excessive use of other public infrastructure such as police and emergency services.
- The applicant has proposed adequate methods of solid waste disposal. Stormwater management will be implemented to protect surface waters and groundwater. Sediment control will minimize soil erosion during and after construction.
- The building has been designed and the materials have been carefully selected to aid in the reduction of sound to protect abutting properties. The proposed colors and design of the buildings, and signage will harmonize with the surrounding area and natural landscape.
- The applicant's Citizen Participation Plan consisted of a public meeting that was held on January 9, 2020. A letter detailing the citizen participation meeting was submitted on January 14th.

STAFF RECOMMENDATION

Staff recommends granting preliminary site plan approval.

Please note that the following will need to be addressed, in order to receive final site plan approval:

- Stormwater management and sediment control plans must be approved, and any required sureties must be submitted.
- The Forest Conservation Plan and Forest Conservation Deed Restrictions must be approved, and any required sureties must be submitted.
- The final landscaping plan and any required sureties must be submitted.

Animal Care Shelter for Kent County/Humane Society of Kent County, Inc.



Source: Kent County Department of Planning, Housing, and Zoning. Aerial taken Spring 2019. Map prepared May 2020.

1 inch = 500 feet

Kent County Department of Planning, Housing and Zoning

Kent County Government Center
400 High Street • Chestertown, MD 21620
410-778-7475 (phone) • 410-810-2932 (fax)

SITE PLAN APPLICATION

File Number: _____ **Amount Paid:** _____ **Date:** _____

Project Name: Animal Care Shelter for Kent County _____

District: 3rd Map: 28 Parcel: 120 Lot Size: 81.325 Deed Ref: 952/86 Zoning: Industrial

LOCATION: 25546 Mary Morris Road, Worton, MD 21678 _____

PROPOSED USE: Animal Shelter _____

OWNER OF LAND:

Name: Kennedyville Properties, LLC _____ Telephone: 410-348-5899 _____

Address: 11653 Augustine Herman Hwy, Kennedyville, MD 21645 Email: dmchenrybp@yahoo.com _____

APPLICANT:

Name: Animal Care Shelter for Kent County _____ Telephone: 410-778-3648 _____

Address: 10720 Augustine Herman Hwy, Chestertown, MD 21620 Email: rdkeaveney@gmail.com _____

AGENT/ATTORNEY (if any):

Name: _____ Telephone: _____

Address: _____ Email: _____

REGISTERED ENGINEER OR SURVEYOR:

Name: DMS & Associates, LLC _____ Telephone: 443-262-9130 _____

Address: P.O. Box 80 Centreville, MD 21617 _____ Email: kjs@dmsandassociates.com _____

Water Supply: Public System On lot system

Sewerage: Public System On lot system

TELEPHONE SERVICED BY: Verizon _____

ELECTRIC SERVICED BY: Delmarva Power _____



Signature of Applicant

3/25/20

Date

Concept Plan Approving Authority: _____ Date _____

Preliminary Approving Authority: _____ Date _____

Final Approving Authority: _____ Date _____

PROJECT NARRATIVE

Animal Care Shelter for Kent County

In accordance with Article VI, Section 5.4.B of the Kent County Zoning Ordinance, we offer the following:

The Animal Care Shelter for Kent County is proposing to construct a new facility on a portion of the property currently owned by Kennedyville Properties, LLC. The physical address of the overall property is 25546 Mary Morris Road, Worton, Maryland, however, the proposed 5.0 acre site for the new facility would be located in the northeast corner of the property and will take access from Worton Road (Maryland Route 297). The overall property is identified as Tax Map 28 Parcel 120 and is zoned Industrial (I).

The Animal Care Shelter is proposing to construct a 10,876-sf facility for the care and boarding of domestic animals. The facility will also include an animal enrichment training center as well as a medical veterinary office. Indoor dog runs will be grouped in a dormitory type setting with each section accessing an outdoor, fenced in play area.

A parking lot will be accessed directly from Worton Road (Maryland Route 297) and will include approximately 40 parking spaces. Stormwater management will be provided for the site to meet the current ESD standards. Afforestation will be provided to meet the 15% requirement. A series of walking paths will be installed on the property to provide exercise areas for the animals and visitors. The site is intended to be served by public water and public sewer.

It is anticipated that there will be 10 full-time employees and 10 volunteers on a maximum shift. Hours of operation for staff will be from 7:30am to 7:30pm. Visitor hours will fluctuate but will typically include 5-6 hours per day, seven days a week.

Once subdivided and purchased, the property is intended to remain under the ownership and maintenance of The Animal Care Shelter for Kent County.

INDUSTRIAL PERFORMANCE STANDARDS

Animal Care Shelter for Kent County Worton Road, Chestertown, MD

In accordance with Article V, Section 15.6 of the Kent County Zoning Ordinance, we offer the following:

1. **NOISE** – Animal shelters and kennels inherently produce noise. However, the architect of this project has designed the facility to aid in reducing noise. The layout of the kennels has been divided into four “dormitories” with only eight dog runs per dorm. Building materials have also been selected to reduce noise such as insulated walls, ceiling materials, and a center hallway with glass doors into the dorms, thus reducing dog barking when visitors observe.
2. **VIBRATION** – There is no earthborn vibration associated with this project.
3. **GLARE** – There is no glare associated with this project.
4. **AIR POLLUTION** – There is no air pollution associated with this project.
5. **WATER POLLUTION** - There is no water pollution associated with this project. All solid waste, including toys, are collected both inside and outside the facility, bagged and placed in the trash.
6. **RADIOACTIVITY** – No radioactive materials will be used.
7. **ELECTRICAL INTERFERENCE** – There are no exceptional electrical demands that should cause any interference.
8. **SMOKE AND PARTICULATE MATTER** – There are no smoke or particulate matter emissions associated with this project.
9. **TOXIC MATTER** – No toxic materials are used.
10. **ODOROUS MATTER** – The only odorous matter will be the solid waste which will be collected both inside and outside the facility, bagged and placed in the trash. Odorous matter will not be detectable from the property boundary or beyond.



Davis, Moore, Shearon & Associates, LLC

April 28, 2020

Mr. Rob W. Tracey, Community Planner
Kent County Department of Planning & Zoning
400 High Street
Chestertown, Maryland 21620

**RE: PRELIMINARY SITE PLAN FOR THE ANIMAL CARE SHELTER FOR KENT COUNTY ON THE LANDS OF KENNEDYVILLE PROPERTIES, LLC
KENT COUNTY TAX MAP 28, PARCEL 120
DMS & ASSOCIATES JOB #2019112**

Dear Mr. Tracey,

Attached please find revised Preliminary Site Plans for the proposed Animal Care Shelter for Kent County. The revisions are in response to the TAC comments dated April 2, 2020 and comments from the Department of Public Works dated April 13, 2020. We offer the following:

TAC letter – April 2, 2020

1. We acknowledge that the Health Department has approved this application.
2. We acknowledge that the State Highway Administration has no issues or concerns with County approval. We will continue to work with SHA on the entrance design and permitting.
3. See responses to the Kent County DPW comments below.
4. We acknowledge that there are 40 parking spaces proposed.
5. Landscaping and lighting plans area included in this submittal.
6. There is only one point of access to the site.
7. In so far as possible, site activities will be conducted within an enclosed structure.
8. The building has shifted 2.5' away from Worton Road so that the roof overhang does not cross the building restriction line.
9. Attached are architectural plans that include details for the proposed signs.
10. Plans and stormwater management computations have been submitted to the Kent Soil and Water Conservation District for review.
11. Forest Conservation Plan planting materials have been added to the Afforestation Plan.
12. Forest Deed Restrictions will be provided for your review under a separate cover.

DPW letter – April 13, 2020

1. The signature block has been revised to Kent County Department of Public Works.
2. Sheet C-2:
 - a. The width of the State right-of-way has been added to the plan.
 - b. The proposed site sign has been moved outside of the proposed utility easement.
3. Sheet C-8:
 - a. Notations have been added indicating a minimum separation of 10' between water and sewer lines.
 - b. A detail of the connections to the existing manhole will be provided prior to final site plan review.
 - c. The 3" line size reference has been corrected to 4".
 - d. A shut off valve has been added at the termination of the 4" force main.
 - e. The sewer force main has been indicated to maintain 4' of cover from proposed grades.
 - f. The buttress detail has been referenced in the plan notes.
 - g. A flushing connection with valve and valve box has been added to the grinder pump line at the edge of the utility easement.
 - h. A flushing connection has been added at the grinder pump pit.
 - i. The sewer service lateral has been indicated to maintain 3' of cover from proposed grades.
 - j. A trench detail has been added on Sheet C-9. Note #8 on the detail was added directing multiple pipes of the same utility to be laid in the same trench.
 - k. A note has been added indicating that the County's responsibility for maintenance of the grinder pump service line ends at the easement line.
 - l. The grinder pump location has been revised to be closer to the end of the parking lot for ease of maintenance. The loading / unloading striping has been extended to the opposite curb and a "no parking" sign has been added.
 - m. A grinder pump detail has been added to Sheet C-9.
 - n. A gasketed blind flange fitting has been called out at the termination of the proposed water main.
 - o. Meter pit piping detail will be provided prior to final site plan review.
 - p. A note has been added stating that the sizing of the domestic and fire water lines are the responsibility of the owner. A water meter size has been specified.
 - q. A note has been added stating that the water meter installation shall meet the requirements of Kent County Department of Public Works.
 - r. A note has been added stating that a pre-construction meeting is required before beginning sewer and water construction.
4. Sheet C-9:
 - a. The details have been revised to be Kent County's where possible.

- b. The details referenced on Sheet C-8 have been added to this sheet.
 - c. A disinfection and testing note has been added to the sheet.
5. We will coordinate with the Maryland State Highway Administration regarding a utility permit within their right-of-way.
 6. Attached is computation of the anticipated water and sewer demands for the building. Upon your review and acceptance, we will formally request the water and sewer allocations.
 7. We acknowledge that a Public Works Agreement will be required for the installation of the water and sewer improvements. Please let us know if Kent County DPW will provide the initial draft copy for review.
 8. The utility easement along the front of the property has been recorded along with the transfer of the 5.0 acres. We will develop a property access easement for the grinder pump. Please let us know if Kent County DPW has a draft easement agreement for review.

We ask that you review this information at your earliest convenience. If you have questions please call me at 443-262-9130.

Sincerely,

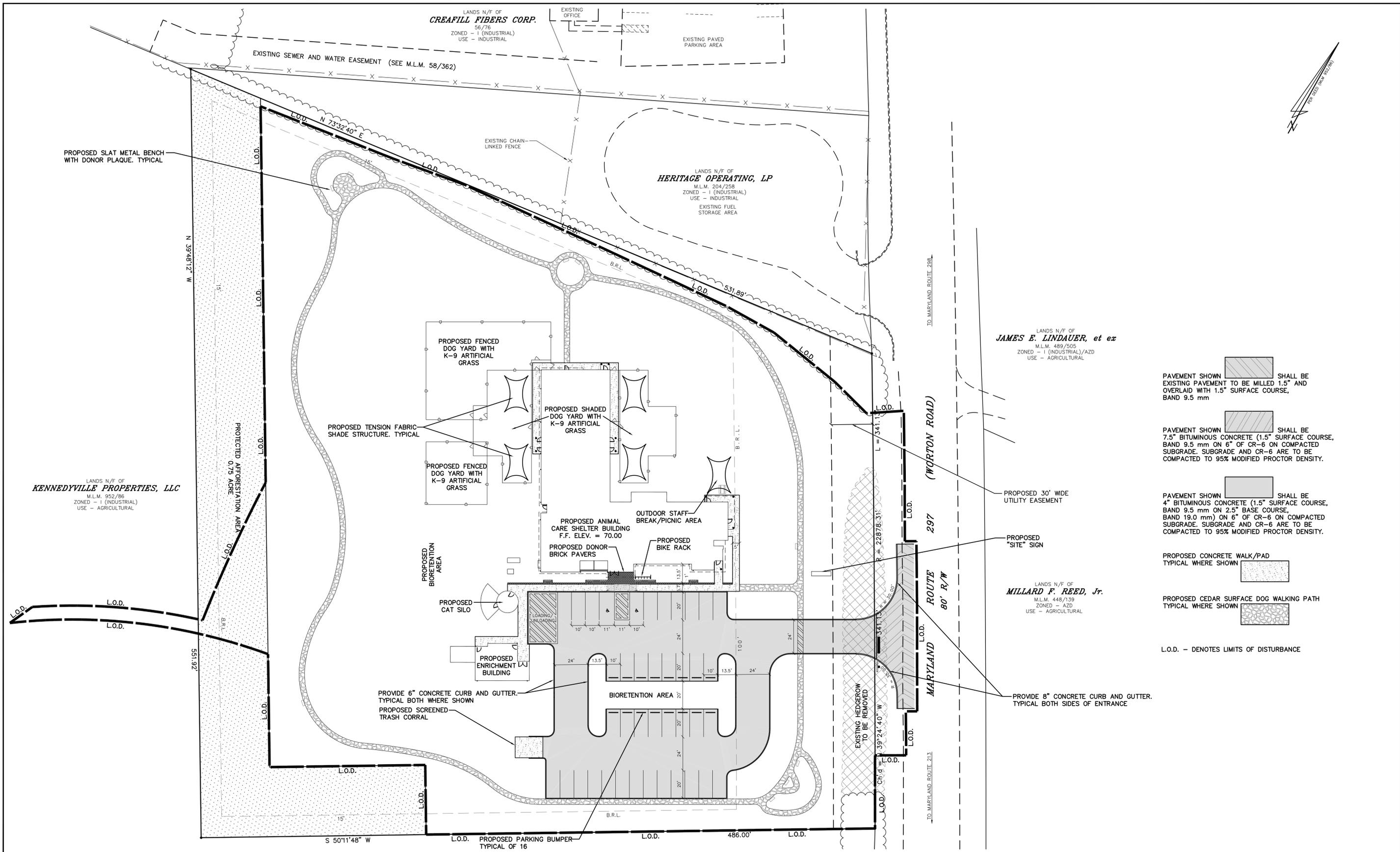
DMS & Associates, LLC

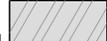
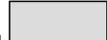


Kevin J. Shearon, P.E., LEED AP

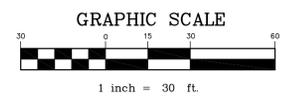
Enclosures

pc: Mr. Richard Keaveney, Animal Care Shelter for Kent County (via email)
Mr. Mike Moulds, Kent County Department of Public Works



- 
 PAVEMENT SHOWN SHALL BE EXISTING PAVEMENT TO BE MILLED 1.5" AND OVERLAID WITH 1.5" SURFACE COURSE, BAND 9.5 mm
- 
 PAVEMENT SHOWN SHALL BE 7.5" BITUMINOUS CONCRETE (1.5" SURFACE COURSE, BAND 9.5 mm ON 6" OF CR-6 ON COMPACTED SUBGRADE. SUBGRADE AND CR-6 ARE TO BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
- 
 PAVEMENT SHOWN SHALL BE 4" BITUMINOUS CONCRETE (1.5" SURFACE COURSE, BAND 9.5 mm ON 2.5" BASE COURSE, BAND 19.0 mm) ON 6" OF CR-6 ON COMPACTED SUBGRADE. SUBGRADE AND CR-6 ARE TO BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
- 
 PROPOSED CONCRETE WALK/PAD TYPICAL WHERE SHOWN
- 
 PROPOSED CEDAR SURFACE DOG WALKING PATH TYPICAL WHERE SHOWN

L.O.D. - DENOTES LIMITS OF DISTURBANCE



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KENT COUNTY PLANNING AND ZONING	KENT COUNTY DEPARTMENT OF PUBLIC WORKS
KENT COUNTY HEALTH DEPARTMENT	KENT SOIL AND WATER CONSERVATION DISTRICT

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE JURISDICTION OF THE STATE OF MARYLAND, LICENSE NO. 200490, AND MY EXPIRATION DATE IS 9-2-21



DAVIS, MOORE, SHEARON & ASSOCIATES, LLC
ENGINEERING, DRAFTING/DESIGN, ENVIRONMENTAL SERVICES & SURVEYING
P.O. BOX 80
CENTREVILLE, MARYLAND 21617
PHONE : 1-443-262-9130
FAX : 1-443-262-9148

DATE	REVISION
4-17-20	PER COMMENTS

SITE PLAN
FOR
THE ANIMAL CARE SHELTER FOR KENT COUNTY
ON THE LANDS OF
THE HUMANE SOCIETY OF KENT COUNTY, INC.
TAX MAP - 28, GRID - 4C, PARCEL - 120

DATE	SCALE
MARCH '20	1" = 30'
JOB No. 2019112	DRAWN BY WJM
FOLDER Ref. 28-2019112	DESIGNED BY KJS
SHEET No. - C-2	
CADD FILE - 19112C02	

DRAWING NOTES
(APPLY TO THIS DRAWING ONLY)

- 1 - NEW ANIMAL CARE SHELTER BUILDING. SEE ARCHITECTURAL PLANS FOR DETAIL.
- 2 - NEW ENRICHMENT BUILDING. SEE ARCHITECTURAL PLANS FOR DETAIL.
- 3 - NEW CAT SILO. SEE ARCHITECTURAL PLANS FOR DETAIL.
- 4 - PROPOSED TENSION FABRIC SHADE STRUCTURE. SEE ARCHITECTURAL PLANS FOR DETAIL.
- 5 - PROPOSED STAFF BREAK/PICNIC AREA.
- 6 - PROPOSED FENCED DOG YARD WITH K-9 ARTIFICIAL GRASS. SEE ARCHITECTURAL PLANS FOR DETAIL.
- 7 - PROVIDE A SITE SIGN. SEE ARCHITECTURAL PLANS FOR DETAIL.
- 8 - PROVIDE MARYLAND STATE HIGHWAY PAVEMENT. SEE PAVEMENT SECTION ON THIS SHEET.
- 9 - MARYLAND STATE HIGHWAY PAVEMENT TO BE MILLED AND OVERLAID. SEE PAVEMENT SECTION ON THIS SHEET.
- 10 - PROVIDE MEDIUM DUTY ASPHALT PAVEMENT. SEE PAVEMENT SECTION ON THIS SHEET.
- 11 - PROVIDE 8" "TYPE A" CONCRETE CURB AND GUTTER PER MARYLAND STATE HIGHWAY ADMINISTRATION DETAIL (MD-620.02) ON SHEET C-10.
- 12 - PROVIDE 6" CONCRETE CURB AND GUTTER PER DETAIL (RD-103.02) ON SHEET C-10.
- 13 - PROVIDE 2' WIDE CURB OPENING PER DETAIL ON SHEET C-10.
- 14 - PROVIDE CONCRETE SIDEWALK PER DETAIL ON SHEET C-10.
- 15 - PROVIDE A.D.A. COMPLIANT SIDEWALK RAMP (PARALLEL) PER DETAIL (MD-655-12) ON SHEET C-10. PROVIDE DETECTABLE WARNING SURFACE PER DETAIL (MD-655-40) ON SHEET C-10.
- 16 - PROVIDE DONOR BRICK PAVERS. SEE ARCHITECTURAL PLANS FOR DETAIL.
- 17 - PROVIDE A SCREENED TRASH CORRAL PER DETAIL ON SHEET C-10.
- 18 - PROVIDE A CEDAR SURFACE DOG WALKING PATH. SEE ARCHITECTURAL PLANS FOR DETAIL.
- 19 - PROVIDE SLAT METAL BENCH WITH DONOR PLAQUE. SEE ARCHITECTURAL PLANS FOR DETAIL.
- 20 - PROVIDE 24" WIDE PREFORMED THERMOPLASTIC STOP BAR AND "STOP" SIGN. ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH MARYLAND STATE HIGHWAY ADMINISTRATION AND M.U.T.C.D. STANDARDS AND SPECIFICATIONS. SEE DETAIL ON SHEET C-10.
- 21 - PROVIDE PAVEMENT MARKINGS (CROSSWALK, NO PARKING AND PARKING SPACE STRIPING).
- 22 - PROVIDE A.D.A. PARKING SIGNAGE PER DETAIL ON SHEET C-10.
- 23 - PROVIDE CONCRETE WHEEL STOPS PER DETAIL ON SHEET C-10.
- 24 - PROVIDE AN ELECTRIC TRANSFORMER. SEE M.E.P. PLANS FOR DETAIL.
- 25 - PROVIDE A BACKUP GENERATOR. SEE M.E.P. PLANS FOR DETAIL.
- 26 - PROVIDE A BIORETENTION AREA. SEE MATERIAL, MAINTENANCE AND INSPECTION SPECIFICATIONS ON SHEET C-5.
- 27 - PROVIDE A 2' WIDE TRAPEZOIDAL DITCH WITH 3:1 SIDE SLOPES.
- 28 - PROVIDE STANDARD YARD INLET PER DETAIL (MD-381.01) ON SHEET C-5.

LANDS N/E OF
KENNEDYVILLE PROPERTIES, LLC
M.L.M. 952/86
ZONED - I (INDUSTRIAL)
USE - AGRICULTURAL

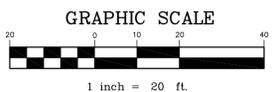
PAVEMENT SHOWN  SHALL BE 7.5" BITUMINOUS CONCRETE (1.5" SURFACE COURSE, BAND 9.5 mm ON 6" OF CR-6 ON COMPACTED SUBGRADE. SUBGRADE AND CR-6 ARE TO BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.

PAVEMENT SHOWN  SHALL BE EXISTING PAVEMENT TO BE MILLED 1.5" AND OVERLAID WITH 1.5" SURFACE COURSE, BAND 9.5 mm

PAVEMENT SHOWN  SHALL BE 4" BITUMINOUS CONCRETE (1.5" SURFACE COURSE, BAND 9.5 mm ON 2.5" BASE COURSE, BAND 19.0 mm) ON 6" OF CR-6 ON COMPACTED SUBGRADE. SUBGRADE AND CR-6 ARE TO BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.

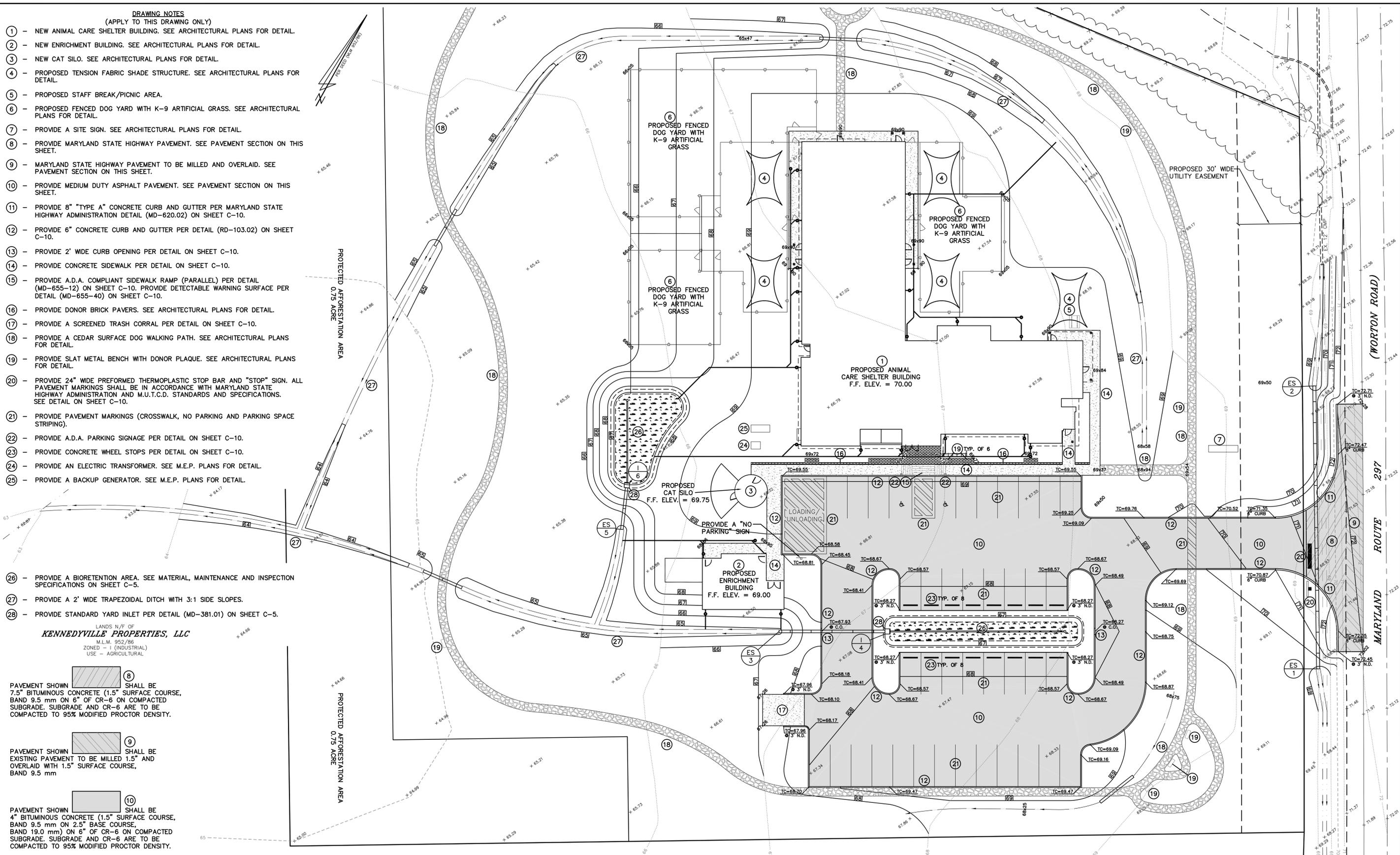
PROPOSED CONCRETE WALK/PAD PER DETAIL ON SHEET C-10 TYPICAL WHERE SHOWN 

PROPOSED CEDAR SURFACE DOG WALKING PATH TYPICAL WHERE SHOWN 



PROTECTED AFFORESTATION AREA
0.75 ACRE

PROTECTED AFFORESTATION AREA
0.75 ACRE



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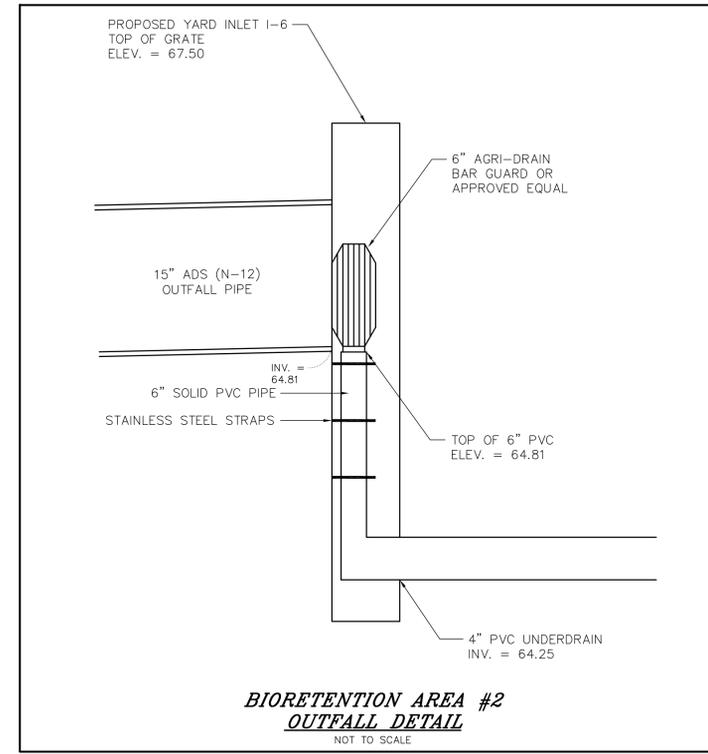
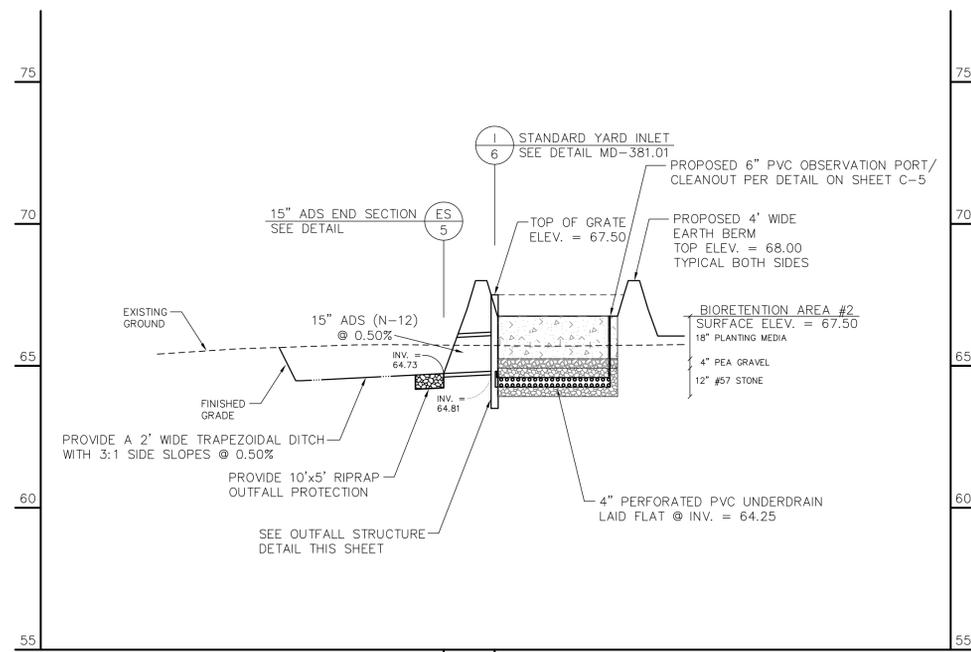
STATE OF MARYLAND
Professional Engineer
APRIL 17, 2020
DATE SEAL

DAVIS, MOORE, SHEARON & ASSOCIATES, LLC
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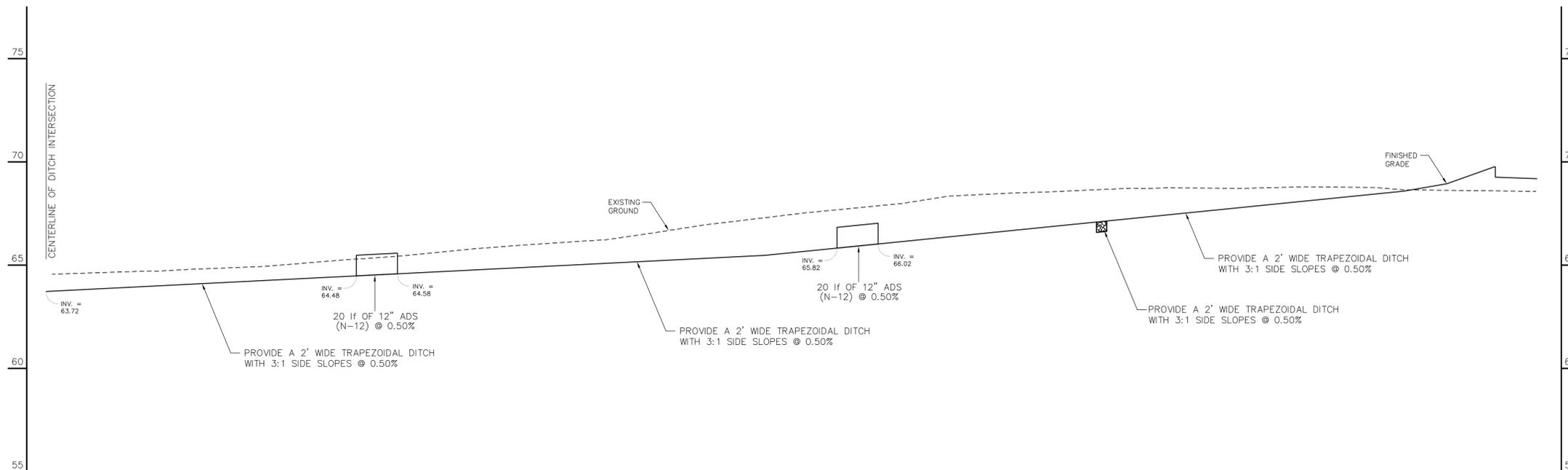
SITE AND GRADING PLAN
FOR
THE ANIMAL CARE SHELTER FOR KENT COUNTY
ON THE LANDS OF
THE HUMANE SOCIETY OF KENT COUNTY, INC.
TAX MAP - 28, GRID - 4C, PARCEL - 120

DATE	SCALE
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SHEET No. - C-3	
CADD FILE - 19112C03	



STORMWATER MANAGEMENT PROFILE

SCALE 1" = 30' HORIZONTAL
1" = 3' VERTICAL



STORMWATER MANAGEMENT PROFILE

SCALE 1" = 30' HORIZONTAL
1" = 3' VERTICAL

KENT COUNTY PLANNING AND ZONING	KENT COUNTY DEPARTMENT OF PUBLIC WORKS
KENT COUNTY HEALTH DEPARTMENT	KENT SOIL AND WATER CONSERVATION DISTRICT

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NO. 200499, AND MY EXPIRES ON OPERATION DATE:

STATE OF MARYLAND
THE ENGINEERING PROFESSION

APRIL 17, 2020

DATE SEAL

**DAVIS, MOORE, SHEARON
& ASSOCIATES, LLC**
ENGINEERING, DRAFTING/DESIGN,
ENVIRONMENTAL SERVICES & SURVEYING

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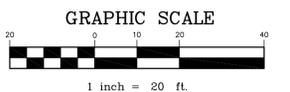
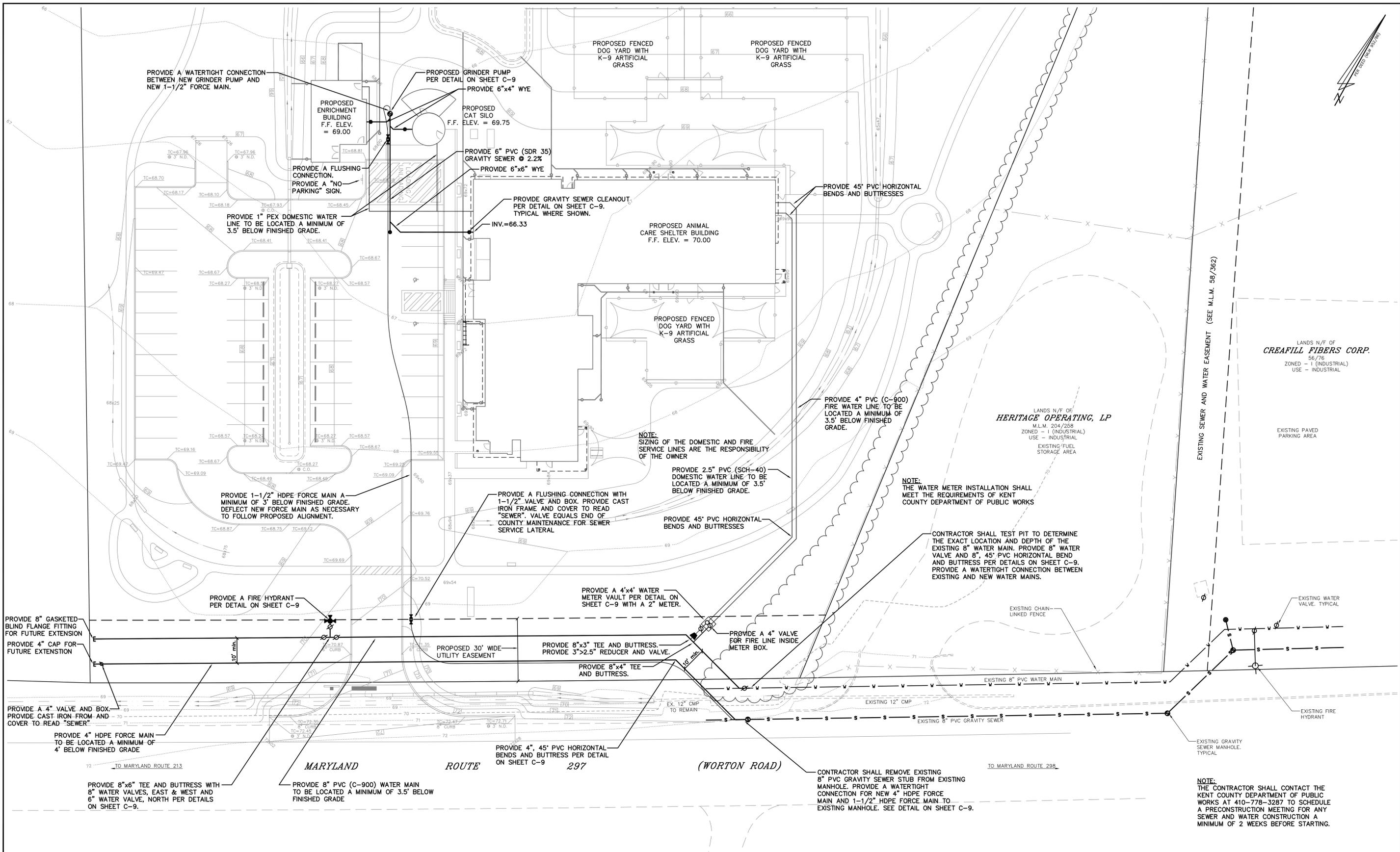
DATE	REVISION
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STORMWATER MANAGEMENT PROFILES

FOR
**THE ANIMAL CARE SHELTER
FOR KENT COUNTY**
ON THE LANDS OF
THE HUMANE SOCIETY OF KENT COUNTY, INC.

TAX MAP - 28, GRID - 4C, PARCEL - 120

DATE	SCALE
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JOB No. 2019112	DRAWN BY WJM
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SHEET No. - C-7	
CADD FILE - 19112C07	



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KENT COUNTY PLANNING AND ZONING	KENT COUNTY DEPARTMENT OF PUBLIC WORKS
KENT COUNTY HEALTH DEPARTMENT	KENT SOIL AND WATER CONSERVATION DISTRICT

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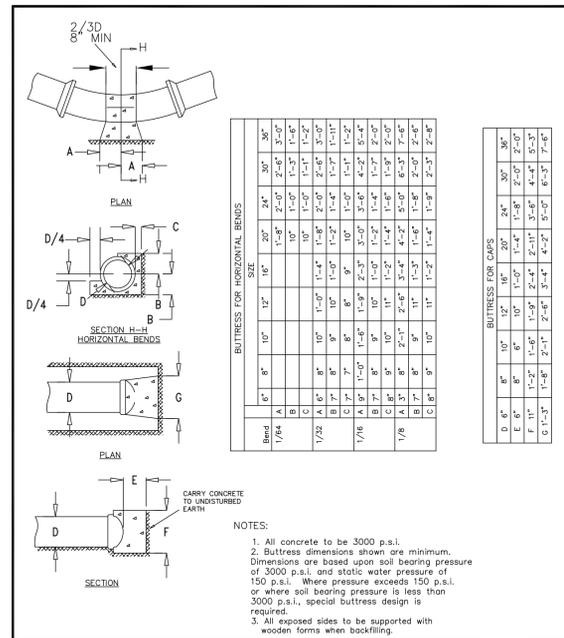
APRIL 17, 2020
DATE SEAL

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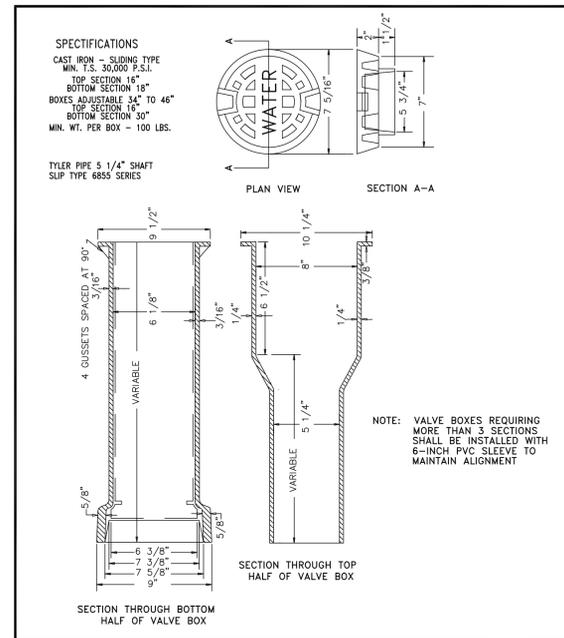
UTILITY PLAN
FOR
THE ANIMAL CARE SHELTER FOR KENT COUNTY
ON THE LANDS OF
THE HUMANE SOCIETY OF KENT COUNTY, INC.
TAX MAP - 28, GRID - 4C, PARCEL - 120

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FOLDER Ref	DESIGNED BY
28-2019112	KJS
SHEET No. - C-8	
CADD FILE - 19112C08	



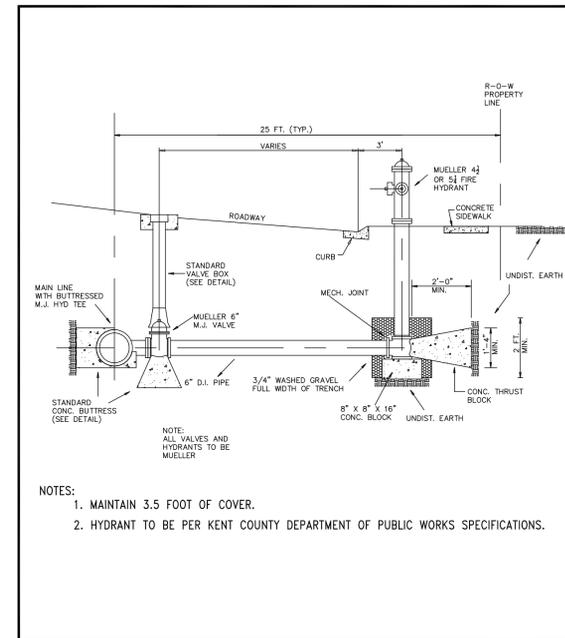
DATE	REVISION
SCALE	NTS
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APPROVED BY	
FILE	dt-gn-but1

Buttriss Caps and Horizontal Bends



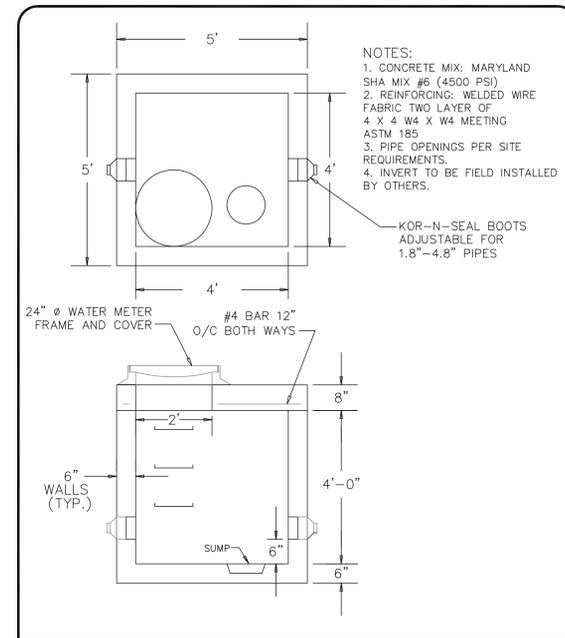
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SCALE	NTS
DRAWN BY	
APPROVED BY	
FILE	dt-wr-vbox5

Water Valve Box and Cover



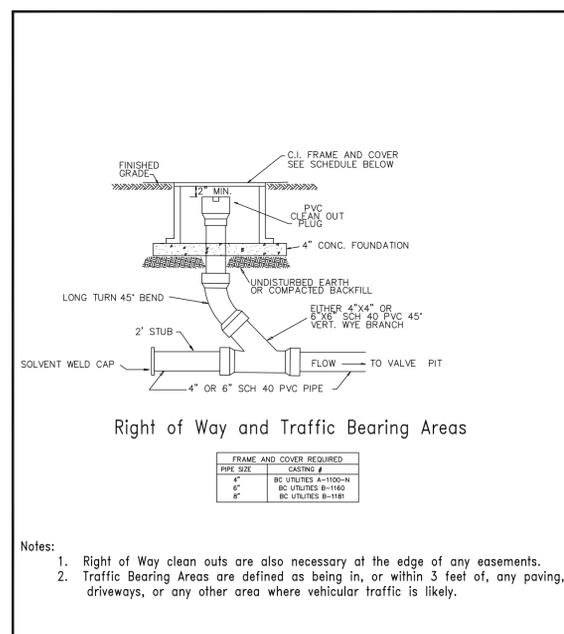
DATE	REVISION
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APPROVED BY	
FILE	

Water Fire Hydrant Setting



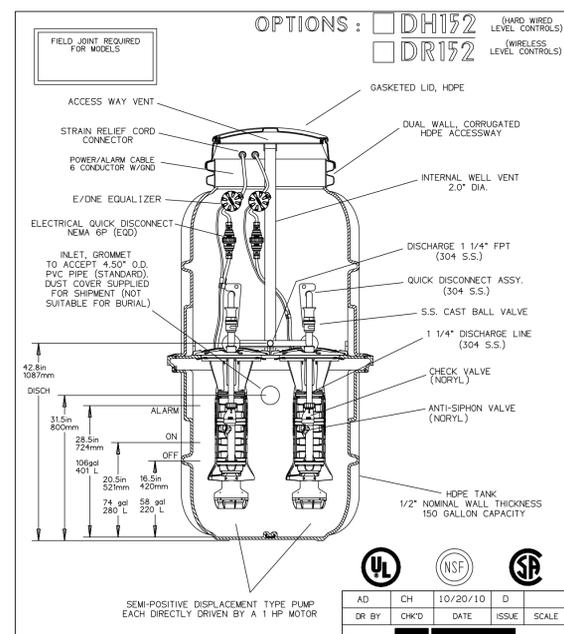
DATE	REVISION
SCALE	NTS
DRAWN BY	J.T.
APPROVED BY	
FILE	

Water Meter Pit



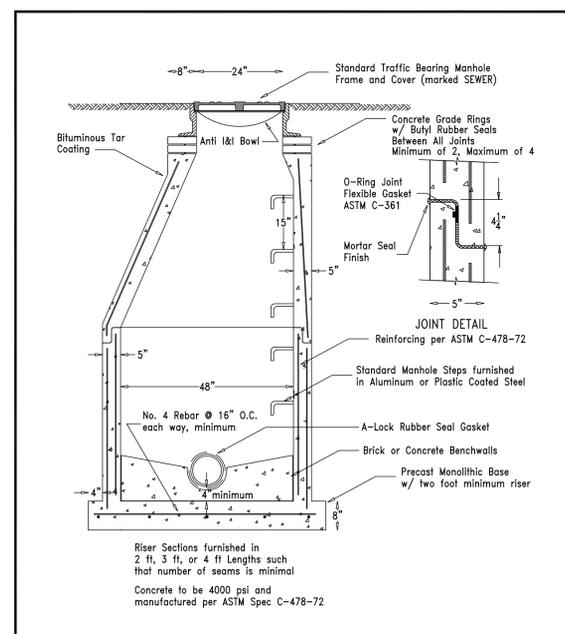
DATE	REVISION
SCALE	NTS
DRAWN BY	
APPROVED BY	
FILE	dt-gs-co

Gravity Sewer Cleanouts



DATE	REVISION
SCALE	NTS
DRAWN BY	
APPROVED BY	
FILE	dt-gn-trench3

Roadway Trench Repair Permanent Bituminous Concrete



DATE	REVISION
SCALE	NTS
DRAWN BY	
APPROVED BY	
FILE	dt-gs-pcman

Gravity Sewer Precast Manhole

NOTE:
 TESTING AND DISINFECTION OF THE PROPOSED WATER MAIN IN ACCORDANCE WITH STATE STANDARDS

KENT COUNTY PLANNING AND ZONING KENT COUNTY DEPARTMENT OF PUBLIC WORKS KENT COUNTY HEALTH DEPARTMENT KENT SOIL AND WATER CONSERVATION DISTRICT	PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE JURISDICTION OF THE STATE OF MARYLAND, LICENSE NO. 200400 AND MY EXPIRATION DATE IS 9-2-21 DATE: _____ SEAL: _____	DAVIS, MOORE, SHEARON & ASSOCIATES, LLC ENGINEERING, DRAFTING/DESIGN, ENVIRONMENTAL SERVICES & SURVEYING P.O. BOX 80 CENTREVILLE, MARYLAND 21617 PHONE : 1-443-262-9130 FAX : 1-443-262-9148	<table border="1"> <thead> <tr> <th>DATE</th> <th>REVISION</th> </tr> </thead> <tbody> <tr> <td>4-17-20</td> <td>PER COMMENTS</td> </tr> </tbody> </table>	DATE	REVISION	4-17-20	PER COMMENTS	<table border="1"> <thead> <tr> <th>DATE</th> <th>REVISION</th> </tr> </thead> <tbody> <tr> <td>MARCH '20</td> <td>AS SHOWN</td> </tr> <tr> <td>2019112</td> <td>DRAWN BY WJM</td> </tr> <tr> <td>FOLDER Ref 28-2019112</td> <td>DESIGNED BY KJS</td> </tr> <tr> <td>SHEET No. - C-9</td> <td></td> </tr> <tr> <td>CADD FILE - 19112C09</td> <td></td> </tr> </tbody> </table>	DATE	REVISION	MARCH '20	AS SHOWN	2019112	DRAWN BY WJM	FOLDER Ref 28-2019112	DESIGNED BY KJS	SHEET No. - C-9		CADD FILE - 19112C09	
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CADD FILE - 19112C09																				

UTILITY DETAILS

FOR
THE ANIMAL CARE SHELTER FOR KENT COUNTY
 ON THE LANDS OF
THE HUMANE SOCIETY OF KENT COUNTY, INC.
 TAX MAP - 28, GRID - 4C, PARCEL - 120

DETAIL B-1 STABILIZED CONSTRUCTION ENTRANCE

CONSTRUCTION SPECIFICATIONS

1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (50 FEET FOR SINGLE RESIDENCE LOTS). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE TO FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
2. FILL ALL SURFACE WATER FLOWING TO OR INVERTED TOWARD THE SCE UNDER THE ENTRANCE. MAINTAIN POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 3:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS LOCATED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
3. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
4. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
5. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE. MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION

DETAIL B-4-6-C PERMANENT SOIL STABILIZATION MATTING CHANNEL APPLICATION

CONSTRUCTION SPECIFICATIONS

1. USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.
2. USE PERMANENT SOIL STABILIZATION MATTING MADE OF OPEN WEAVE SYNTHETIC, NON-DEGRADABLE FIBERS OR ELEMENTS OF UNIFORM THICKNESS AND DISTRIBUTION THROUGHOUT. CHEMICALS USED IN THE MAT MUST BE NON-LEACHING AND NON-TOXIC TO VEGETATION AND SEED GERMINATION AND NON-INJURIOUS TO THE SKIN. IF PRESENT, MATTING MUST BE EXTENDED PLASTIC WITH A MAXIMUM MESH OPENING OF 200 INCHES AND SUFFICIENTLY BONDED OR SEWN ON 2 INCH CENTERS ALONG LONGITUDINAL AXIS OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.
3. SECURE MATTING USING STEEL STAPLES OR WOOD STAPLES. STAPLES MUST BE "U" OR "T" SHAPED STEEL. WIRE MUST HAVE A MINIMUM GAUGE OF NO. 11 AND NO. 8 RESPECTIVELY. SHAPED STAPLES MUST AVERAGE 1 TO 1 1/2 INCHES WIDE AND BE A MINIMUM OF 8 INCHES LONG. "U" SHAPED STAPLES MUST HAVE A MINIMUM 8 INCH MAIN LEG, A MINIMUM 1 INCH SECONDARY LEG, AND MINIMUM 4 INCH HEAD. WOOD STAPLES MUST BE ROUGH-SAWN HARDWOOD, 1/2 TO 3/4 INCH IN LENGTH, 1/4 INCH IN CROSS SECTION, AND WEDGE SHAPE AT THE BOTTOM.
4. PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDING PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS. UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
5. UNROLL MATTING IN DIRECTION OF WATER FLOW. CENTERING THE FIRST ROLL ON THE CHANNEL CENTER LINE. WORK FROM CENTER OF CHANNEL OUTWARD WHEN PLACING ROLLS. LAY MATTING SMOOTHLY AND FIRMLY UPON THE SEEDING SURFACE. AVOID STRETCHING THE MATTING.
6. OVERLAP OR ABUT EDGES OF MATTING ROLLS PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL EDGES BY 6 INCHES (MINIMUM), WITH THE UPSTREAM MAT OVERLAPPING ON TOP OF THE DOWNSTREAM MAT.
7. KEY IN THE TOP OF SLOPE END OF MAT 6 INCHES (MINIMUM) BY DIGGING A TRENCH, PLACING THE MATTING ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END IN THE KEY.
8. STAPLE/STAKE MAT IN A STAGGERED PATTERN ON A 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL EDGES.
9. IF SPECIFIED BY THE DESIGNER OR MANUFACTURER AND DEPENDING ON THE TYPE OF MAT BEING INSTALLED, OVER THE MATTING IS KEPT AND STAPLED IN PLACE. FILL THE MAT VOIDS WITH TOP SOIL OR GRANULAR MATERIAL AND LIGHTLY COMPACT OR ROLL TO MAINTAIN SOIL-MAT CONTACT WITHOUT CRUSHING MAT.
10. ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION

DETAIL B-4-6-D PERMANENT SOIL STABILIZATION MATTING SLOPE APPLICATION

CONSTRUCTION SPECIFICATIONS

1. USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.
2. USE PERMANENT SOIL STABILIZATION MATTING MADE OF OPEN WEAVE SYNTHETIC, NON-DEGRADABLE FIBERS OR ELEMENTS OF UNIFORM THICKNESS AND DISTRIBUTION THROUGHOUT. CHEMICALS USED IN THE MAT MUST BE NON-LEACHING AND NON-TOXIC TO VEGETATION AND SEED GERMINATION AND NON-INJURIOUS TO THE SKIN. IF PRESENT, MATTING MUST BE EXTENDED PLASTIC WITH A MAXIMUM MESH OPENING OF 200 INCHES AND SUFFICIENTLY BONDED OR SEWN ON 2 INCH CENTERS ALONG LONGITUDINAL AXIS OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.
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4. PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDING PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS. UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
5. UNROLL MATTING DOWN SLOPE. LAY MATTING SMOOTHLY AND FIRMLY UPON THE SEEDING SURFACE. AVOID STRETCHING THE MATTING.
6. OVERLAP OR ABUT EDGES OF MATTING ROLLS PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL EDGES BY 6 INCHES (MINIMUM), WITH THE UPSTREAM MAT OVERLAPPING ON TOP OF THE DOWNSLOPE MAT.
7. KEY IN THE TOP OF SLOPE END OF MAT 6 INCHES (MINIMUM) BY DIGGING A TRENCH, PLACING THE MATTING ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END IN THE KEY.
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10. ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION

DETAIL D-4-1-B ROCK OUTLET PROTECTION II

CONSTRUCTION SPECIFICATIONS

1. RIPRAP AND STONE MUST CONFORM TO THE SPECIFIED CLASS.
2. USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, AND PROTECT FROM PUNCTURING, CUTTING OR TEARING. REPAIR ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE BY PLACING ANOTHER PIECE OF GEOTEXTILE OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE GEOTEXTILE. PROVIDE A MINIMUM OF ONE FOOT OVERLAP FOR ALL REPAIRS AND FOR JOINING TWO PIECES OF GEOTEXTILE TOGETHER.
3. PREPARE THE SUBGRADE FOR GEOTEXTILE OR STONE FILTER (3/4 TO 1 1/2 INCH STONE FOR 6 INCH MINIMUM DEPTH) AND RIPRAP TO THE REQUIRED LINES AND GRADES. COMPACT ANY FILL REQUIRED IN THE SUBGRADE TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.
4. EXTEND GEOTEXTILE AT LEAST 6 INCHES BEYOND EDGES OF RIPRAP AND EMBED AT LEAST 4 INCHES AT SIDES OF RIPRAP.
5. CONSTRUCT RIPRAP OUTLET TO FULL COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID DISPLACEMENT OF UNDERLYING MATERIALS. PLACE STONE FOR RIPRAP OUTLET IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENEOUS WITH THE SMALLER STONES AND SPALLS FILLING THE VOIDS BETWEEN THE LARGER STONES. PLACE RIPRAP IN A MANNER TO PREVENT DAMAGE TO THE STONE FILTER BANNER OR GEOTEXTILE. HAND PLACE TO THE EXTENT NECESSARY.
6. WHERE NO ENDWALL IS USED, CONSTRUCT THE UPSTREAM END OF THE APRON SO THAT THE WIDTH IS TWO TIMES THE DIAMETER OF THE OUTLET PIPE, AND EXTEND THE STONE UNDER THE OUTLET BY A MINIMUM OF 18 INCHES.
7. CONSTRUCT APRON WITH ONE SLOPE ALONG ITS LENGTH AND WITHOUT OBSTRUCTIONS. PLACE STONE SO THAT IT BLENDS IN WITH EXISTING GROUND.
8. MAINTAIN LINE, GRADE, AND CROSS SECTION. KEEP OUTLET FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. AFTER FLOW TESTS, INSPECT FOR SOUP AND DISLOADED RIPRAP. MAKE NECESSARY REPAIRS IMMEDIATELY.

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DETAIL E-1 SILT FENCE

CONSTRUCTION SPECIFICATIONS

1. USE WOOD POSTS 1 1/2 x 1 1/2 x 8 1/2 INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD, AS AN ALTERNATIVE TO WOODEN POST USE STANDARD 11" OR 1 1/2" SECTION STEEL POSTS MEETING BUT NOT LESS THAN 1 POUND PER LINEAR FOOT.
2. USE 36 INCH MINIMUM POSTS DRIVEN 16 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APART.
3. USE WOVEN SILT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION.
4. PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
5. EMBED GEOTEXTILE A MINIMUM OF 8 INCHES VERTICALLY INTO THE GROUND. BACKFILL AND COMPACT THE SOIL ON BOTH SIDES OF FABRIC.
6. WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN, OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL.
7. EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE.
8. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE, IF TORN, IF UNDERMINING OCCURS, RENTRANT FENCE.

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DETAIL E-1 SILT FENCE

CONSTRUCTION SPECIFICATIONS

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7. EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE.
8. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE, IF TORN, IF UNDERMINING OCCURS, RENTRANT FENCE.

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DETAIL E-9-2 AT-GRADE INLET PROTECTION

CONSTRUCTION SPECIFICATIONS

1. USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
2. LIFT GRATE AND WRAP WITH NONWOVEN GEOTEXTILE TO COMPLETELY COVER ALL OPENINGS. SECURE WITH WIRE TIES AND SET GRATE BACK IN PLACE.
3. PLACE CLEAN 3/4 TO 1 1/2 INCH STONE OR EQUIVALENT RECYCLED CONCRETE 6 INCHES THICK ON THE GRATE.
4. STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOSING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOSING. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

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GENERAL NOTES

1. Notification of Kent County (410-778-7437) at least five (5) days prior to the start of work.
2. Prior to the start of work, the Contractor is to obtain County approval of any proposed plan changes and sequence of construction, specifically relating to installation, inspection, maintenance and removal of erosion and sediment control measures.
3. Sediment control measures are not to be removed until the areas served by such measures to be made in the field as necessary, and to be maintained at the end of each working day until project completion. The minimum area practical shall be disturbed for the minimal amount of time possible.
4. When pumping sediment-laden water, the discharge must be directed to an approved sediment trapping measure prior to release from the site.
5. All temporary stockpiles are to be located within areas protected by sediment control measures, and are to be temporarily stabilized.
6. All sediment control dikes, weeds, basins and flow lines to basins will be temporarily sealed immediately upon installation to reduce the contribution to sediment loading.
7. Disposal of excess earth materials on State or Federal property requires MDE Approval, otherwise materials are to be disposed of at a location approved by the local authority.
8. Temporary soil erosion control and sediment control measures are to be provided as per the approved plan prior to grading operations. Location adjustments are to be made in the field as necessary. The minimum area practical shall be disturbed for the minimum possible time.
9. If grading is completed out of a seeding season, graded areas are to be temporarily stabilized by mulch and mulch anchoring. Mulch material shall be unchopped, unrotted, unchopped small grain straw spread at the rate of 1 to 2 tons per acre. Mulch anchoring to be accomplished by an approved method, use of a mulch anchoring tool is recommended where possible.
10. Implementation of the sediment control plan shall be in accordance with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control", of the Department.
11. The Contractor is responsible for implementation and maintenance of the approved plan, and all other measures necessary to control, filter, or prevent sediment from leaving the site.
12. In case where stormwater management structures are a part of site development, removal of sediment control structures may not be accomplished before the contributing drainage area to the stormwater management structure is dewatered and stabilized.
13. On sites where infiltration techniques are utilized for the control of stormwater, extreme care must be taken to prevent all runoff from entering the structure during construction.
14. Sediment control for utility construction in areas outside of designed controls:
 - (a) Excavated trench material shall be placed on the high side of the trench.
 - (b) Immediately following pipe installation the trench shall be backfilled, or compacted and stabilized at the end of each working day.
 - (c) Temporary silt fence or straw bale dikes shall be placed immediately downstream of discharges to the Chesapeake Bay, impaired waters or waters with an established total maximum daily load (TMDL).
15. All points on construction ingress and egress shall be protected to prevent tracking of mud onto public ways.
16. Site information:

Total Area of Site	5.00 Acres
Area Disturbed	4.42 Acres
Area to be Roofed or Paved	0.90 Acres
Total Cut	900 cy*
Total Fill	4,400 cy*

 * - CUT AND FILL AMOUNTS ARE APPROXIMATE. THE CONTRACTOR SHALL DO A SEPARATE TAKE-OFF.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
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EROSION & SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

- 1) Contractor shall install soil erosion and sediment control devices prior to any grading. Following initial disturbance or re-disturbance, permanent or temporary stabilization shall be completed within three (3) calendar days as to the surface of all perimeter controls, dikes, weeds, ditches, perimeter slopes greater than three (3) horizontal to one (1) vertical (3:1) and seven days (7) as to all other disturbed or graded areas on the project site.
- 2) All temporary erosion and sediment control devices are to be provided as indicated on this plan with location adjustments to be made in the field as necessary, and to be maintained at the end of each working day until project completion. The minimum area practical shall be disturbed for the minimal amount of time possible.
- 3) Clearing and grubbing shall include all trees, brush, debris, root mat and organic materials to be removed.
- 4) Temporary seeding shall be accomplished between February 15th through April 30th, or August 15th through November 30th. During other times, temporary mulching shall be provided.
- 5) Temporary seeding shall conform to the following applications: 436 lbs. per acre of 10-20-20; 4,000 lbs. per acre of ground limestone, to be incorporated into the soil by disking or other suitable means. Annual eye grass shall be applied at a rate of 50 lbs. per acre using suitable equipment. Mulching shall be accomplished immediately after seeding.

Seed Mixture (For Hazard Zone 7) (From Table 9-1)				Fertilizer (10-20-20)	Lime Rate
No.	Species	Appl. Rate (lb./ac.)	Seeding Date		
1	ANNUAL RYE GRASS	50 lbs.	2/15-4/30 8/15-11/30	1/2"	
2	BARLEY	96 lbs.	2/15-4/30, 8/15-11/30	1"	436 lb/acre 100 lb/1000 ft
3	DAKOTA WHEAT	120 lbs.	2/15-4/30, 8/15-11/30	1"	
4	CEREAL RYE	112 lbs.	2/15-4/30, 8/15-12/15	1"	
5	FOXTAIL MILLET	30 lbs.	5/1-8/14	1/2"	
6	PEARL MILLET	20 lbs.	5/1-8/14	1/2"	

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SEED MIXTURE (For Hazard Zone 7) (From Table 9-1)

No.	Species	Appl. Rate (lb./ac.)	Seeding Date	Seeding Depth	Fertilizer (10-20-20)	Lime Rate
7	CREEPING BENT GRASS	60 lbs.	3/1-5/15 8/15-10/15	1/4" to 1/2"		
8	TALL FESCUE	100 lbs.	3/1-5/15 8/15-10/15	1/4" to 1/2"	45 lb/acre 100 lb/1000 ft	90 lb/acre 100 lb/1000 ft
9	TALL FESCUE BLUEGRASS PERENNIAL	80 lbs.	3/1-5/15 8/15-10/15	1/4" to 1/2"	40 lbs.	90 lb/acre 100 lb/1000 ft

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DETAIL E-1 SILT FENCE

CONSTRUCTION SPECIFICATIONS

1. USE WOOD POSTS 1 1/2 x 1 1/2 x 8 1/2 INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD, AS AN ALTERNATIVE TO WOODEN POST USE STANDARD 11" OR 1 1/2" SECTION STEEL POSTS MEETING BUT NOT LESS THAN 1 POUND PER LINEAR FOOT.
2. USE 36 INCH MINIMUM POSTS DRIVEN 16 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APART.
3. USE WOVEN SILT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION.
4. PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
5. EMBED GEOTEXTILE A MINIMUM OF 8 INCHES VERTICALLY INTO THE GROUND. BACKFILL AND COMPACT THE SOIL ON BOTH SIDES OF FABRIC.
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8. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE, IF TORN, IF UNDERMINING OCCURS, RENTRANT FENCE.

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DETAIL E-9-2 AT-GRADE INLET PROTECTION

CONSTRUCTION SPECIFICATIONS

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GENERAL NOTES

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2. Prior to the start of work, the Contractor is to obtain County approval of any proposed plan changes and sequence of construction, specifically relating to installation, inspection, maintenance and removal of erosion and sediment control measures.
3. Sediment control measures are not to be removed until the areas served by such measures to be made in the field as necessary, and to be maintained at the end of each working day until project completion. The minimum area practical shall be disturbed for the minimal amount of time possible.
4. When pumping sediment-laden water, the discharge must be directed to an approved sediment trapping measure prior to release from the site.
5. All temporary stockpiles are to be located within areas protected by sediment control measures, and are to be temporarily stabilized.
6. All sediment control dikes, weeds, basins and flow lines to basins will be temporarily sealed immediately upon installation to reduce the contribution to sediment loading.
7. Disposal of excess earth materials on State or Federal property requires MDE Approval, otherwise materials are to be disposed of at a location approved by the local authority.
8. Temporary soil erosion control and sediment control measures are to be provided as per the approved plan prior to grading operations. Location adjustments are to be made in the field as necessary. The minimum area practical shall be disturbed for the minimum possible time.
9. If grading is completed out of a seeding season, graded areas are to be temporarily stabilized by mulch and mulch anchoring. Mulch material shall be unchopped, unrotted, unchopped small grain straw spread at the rate of 1 to 2 tons per acre. Mulch anchoring to be accomplished by an approved method, use of a mulch anchoring tool is recommended where possible.
10. Implementation of the sediment control plan shall be in accordance with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control", of the Department.
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16. Site information:

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Area Disturbed	4.42 Acres
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 * - CUT AND FILL AMOUNTS ARE APPROXIMATE. THE CONTRACTOR SHALL DO A SEPARATE TAKE-OFF.

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EROSION & SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

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- 2) All temporary erosion and sediment control devices are to be provided as indicated on this plan with location adjustments to be made in the field as necessary, and to be maintained at the end of each working day until project completion. The minimum area practical shall be disturbed for the minimal amount of time possible.
- 3) Clearing and grubbing shall include all trees, brush, debris, root mat and organic materials to be removed.
- 4) Temporary seeding shall be accomplished between February 15th through April 30th, or August 15th through November 30th. During other times, temporary mulching shall be provided.
- 5) Temporary seeding shall conform to the following applications: 436 lbs. per acre of 10-20-20; 4,000 lbs. per acre of ground limestone, to be incorporated into the soil by disking or other suitable means. Annual eye grass shall be applied at a rate of 50 lbs. per acre using suitable equipment. Mulching shall be accomplished immediately after seeding.

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INSPECTION CHECKLIST

1. THE REQUIRED PRECONSTRUCTION MEETING.
2. FOLLOWING INSTALLATION OF SEDIMENT CONTROL MEASURES.
3. PRIOR TO REMOVAL OR MODIFICATION OF ANY SEDIMENT CONTROL STRUCTURE.
4. PRIOR TO REMOVAL OF ALL SEDIMENT AND EROSION CONTROL DEVICES.

PHASE OF CONSTRUCTION

1. CONTACT THE KENT COUNTY SEDIMENT AND EROSION CONTROL INSPECTOR AT 410-778-7437 A MINIMUM OF 2 WEEKS PRIOR TO THE START OF CONSTRUCTION TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO INITIATION OF ANY GRADING ACTIVITY.
2. PROVIDE A STABILIZED CONSTRUCTION ENTRANCE AT LOCATION SHOWN. CONTRACTOR SHALL BROOM SWEEP THE STATE ROAD ON A DAILY BASIS SHOULD MUD/DIRT BE DRAGGED OFFSITE.
3. PROVIDE PERIMETER SILT FENCE AT LOCATIONS SHOWN.
4. STRIP THE TOPSOIL FROM THE LIMITS OF THE PROPOSED BUILDING AND STOCKPILE ONSITE. IMPORT FILL MATERIAL AS NEEDED TO PREPARE BUILDING PAD.
5. BEGIN BUILDING CONSTRUCTION.
6. INSTALL UTILITIES INCLUDING, BUT NOT LIMITED TO, WATER, SEWER, AND STORMDRAIN.
7. STRIP THE TOPSOIL FROM THE LIMITS OF THE PARKING LOT AND STOCKPILE ON-SITE.
8. ROUGH GRADE THE SITE AND PROVIDE TEMPORARY STABILIZATION. PLACE STONE IN AREAS TO RECEIVE PAVEMENT OR CONCRETE.
9. GRADE THE BIORETENTION AREAS TO FINAL SURFACE ELEVATION WITHOUT EXCAVATING FOR BIO MEDIA AND STONE.
10. STABILIZE ALL DISTURBED AREAS WITH TOPSOIL, SEED AND MULCH. PROVIDE STABILIZATION MATTING ON ALL SLOPES 3:1 AND STEEPER.
11. MAINTAIN ALL PERIMETER CONTROLS THROUGHOUT THE PROJECT.
12. STABILIZE ALL DISTURBED AREAS WITH TOPSOIL (4" MINIMUM), SEED AND MULCH.
13. UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREAS, EXCAVATE THE BIORETENTION AREAS AND INSTALL STONE, UNDERDRAIN

LANDSCAPING SPECIFICATIONS

OVERALL COMPLIANCE WITH THE TERMS OF THIS LANDSCAPE PLAN INCLUDING ALL MAINTENANCE AND WARRANTY REQUIREMENTS DESCRIBED HEREON IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER. MAINTENANCE, WARRANTY AND PLANT MATERIAL SURVIVAL RESPONSIBILITIES OF THE LANDSCAPE CONTRACTOR SHALL BE AS SPECIFICALLY NEGOTIATED BETWEEN OWNER/DEVELOPER AND CONTRACTOR.

ALL WORK SHALL BE ACCOMPLISHED WITH QUALIFIED PERSONNEL UTILIZING INDUSTRY STANDARD PRACTICES AND TECHNIQUES. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL LANDSCAPING SHOWN OR IMPLIED ON THIS PLAN. PRIOR TO INSTALLATION, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR PLAN PREPARER IF SITE PLANTING CONDITIONS WARRANT RE-DESIGN CONSIDERATION AND VERIFY THE RECEIPT OF MOST CURRENT APPROVED BUFFER MANAGEMENT PLAN.

A. MATERIALS

(1) PLANTS SHALL BE NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. THEY SHALL HAVE BEEN ROOT PRUNED WITHIN THE LAST TWO YEARS.

THEY SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF DISEASE, PEST, EGGS OR LARVAE, AND SHALL HAVE A HEALTHY, DEVELOPED ROOT SYSTEM. TREES AND SHRUBS SHALL NOT BE PRUNED BEFORE DELIVERY. ALL PLANTS WITH A DAMAGED OR CROOKED LEADER OR MULTIPLE LEADERS, ABRASIONS ON THE BARK, SUNSCALD, DISFIGURING KNOTS OR FRESH CUTS OVER 1/2" WILL BE REJECTED. THE OWNER RESERVES THE RIGHT TO HAVE THE PLANT MATERIAL INSPECTED AND TAGGED AT THE GROWING SITE AND TO REJECT ANY DEFICIENT MATERIAL AT THE JOB SITE. THE LANDSCAPE ARCHITECT OR PLAN PREPARER SHALL REJECT ANY AND ALL PLANT MATERIAL THAT DOES NOT MEET SPECIFICATIONS, IS DISEASED, OR IS OTHERWISE UNHEALTHY.

NO CHANGE IN QUANTITY, SIZE, KIND OR QUALITY OF PLANT SPECIFIED WILL BE PERMITTED WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT/DESIGNER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE PLANT COUNT AND IN ANY INSTANCE WHERE THERE IS A DISCREPANCY BETWEEN THE PLAN VIEW AND THE LANDSCAPE SCHEDULE, THE PLAN VIEW SHALL PRESIDE.

(2) TOPSOIL SHALL BE FERTILE, FRIABLE AND TYPICAL OF THE LOCALITY. IT SHALL BE FREE OF STONES, LUMPS, PLANTS, ROOTS, STICKS AND SHALL NOT BE DELIVERED IN A FROZEN OR MUDDY CONDITION. COMPACTED SOILS THAT CANNOT BE RESTORED TO A REASONABLE PLANTING SOIL SHALL BE REMOVED AND REPLACED WITH FRIABLE NATIVE SOILS.

(3) PLANTING SOIL (BACKFILL MIX) SHALL BE TWO PARTS NATIVE TOPSOIL AND ONE PART LEAF GRO, THOROUGHLY MIXED.

(4) STAKING MATERIALS: GUY WIRE SHALL BE PLIABLE 12 GAUGE GALVANIZED TWISTED TWO STRAND WIRE. HOSE SHALL BE A SUITABLE LENGTH OF TWO-PLY, REINFORCED BLACK RUBBER HOSE 3/4" INCH IN DIAMETER; STAKES SHALL CONFORM TO THE DETAIL ON THIS SHEET.

(5) MULCH: MULCH SHALL BE ORGANIC DOUBLE SHREDDED HARDWOOD BARK FREE OF HERBICIDES, LARGE CHUNKS AND WEEDS AND SEED AND AGED A MINIMUM OF 6 MONTHS.

B. APPLICABLE SPECIFICATIONS AND STANDARDS:

- (1) "STANDARDIZED PLANT NAMES," LATEST EDITION AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE.
- (2) "AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION, AMERICAN ASSOCIATION OF NURSERYMEN.

C. PRE-DELIVERY DIGGING AND HANDLING OF PLANT MATERIALS:

(1) IMMEDIATELY BEFORE DIGGING, SPRAY ALL EVERGREEN OR DECIDUOUS PLANT MATERIAL IN FULL LEAF WITH ANTI-DESICCANT, APPLYING AN ADEQUATE FILM OVER TRUNKS, BRANCHES, TWIGS, AND/OR FOLIAGE.

(2) DIG BALL AND BURLAP (B&B) PLANTS WITH FIRM NATURAL BALLS OF EARTH, OF DIAMETER NOT LESS THAN THAT RECOMMENDED BY AMERICAN STANDARD FOR NURSERY STOCK, AND OF SUFFICIENT DEPTH TO INCLUDE THE FIBROUS AND FEEDING ROOTS. PLANTS MOVED WITH A BALL WILL NOT BE ACCEPTED IF THE BALL IS CRACKED OR BROKEN BEFORE OR DURING PLANTING OPERATIONS.

(3) THE LANDSCAPE CONTRACTOR SHALL PLAN DELIVER AND PLANT INSTALLATION TO MINIMIZE STRESS ON PLANT MATERIAL. MATERIAL TO BE STAGED ON OR OFF THE JOB SITE SHALL BE LOCATED TO MAXIMIZE PROTECTION FROM HOT SUN AND DRYING WINDS AND SHALL BE WATERED TO MAINTAIN A STRESS FREE CONDITION. THE LACK OF AVAILABLE WATER SHALL NOT RELIEVE THE CONTRACTOR OF ADEQUATE MAINTENANCE.

D. SITE PREPARATION:

PLANTING AREAS THAT HAVE BEEN IN CONSISTENT AGRICULTURAL PRODUCTION SHALL BE PLANTED WITH NO OTHER REQUIRED SITE PREPARATION.

PLANTING AREAS THAT ARE VEGETATED AND STABLE WITH MINIMAL WEEDS SHALL BE MOVED TO 8" OR AS REQUIRED FOR PLANTING OR SEEDLING INSTALLATION.

E. EXCAVATION OF PLANTING AREAS:

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK. COORDINATE WITH OTHER CONTRACTORS ON SITE AND MISS UTILITY TO VERIFY UTILITY LOCATIONS. ANY REPAIRS TO EXISTING UNDERGROUND UTILITIES REQUIRED AS A RESULT OF ACTIONS OF THE CONTRACTOR AND/OR HIS ASSIGNS SHALL BE BORNE BY THE CONTRACTOR.

STAKE OUT ON THE GROUND LOCATIONS FOR PLANTS AND OUTLINES OF AREA TO BE PLANTED AND OBTAIN APPROVAL OF THE LANDSCAPE ARCHITECT/DESIGNER BEFORE EXCAVATION IS BEGUN. CONTRACTOR IS TO CAUTIOUSLY TEST PIT AREAS WHERE UNDERGROUND UTILITIES (ELECTRIC, GAS, CABLE/COMMUNICATIONS LINES, WATER LINES, SEWER, ROOF LEADERS, STORM DRAIN PIPE, ETC.) ARE SUSPECTED TO EXIST AND WHERE PROPOSED TO BE PLACED ACCORDING TO PLAN TO AVOID ANY DAMAGE OR DISRUPTIONS TO SERVICES. DO NOT PLACE PLANTS DIRECTLY OVER ANY EXISTING UNDERGROUND UTILITIES. OBTAIN A REASONABLE AND PRACTICAL DISTANCE TO AVOID ANY IMMINENT OR FUTURE CONFLICT.

F. PLANTING OPERATIONS:

DO NOT MIX OR PLACE SOILS AND SOIL AMENDMENTS IN FROZEN, WET OR MUDDY CONDITION. SUSPEND SOIL SPREADING, GRADING AND TILLING OPERATIONS DURING PERIODS OF EXCESS SOIL MOISTURE UNTIL MOISTURE CONTENT REACHES ACCEPTABLE LEVELS TO ATTAIN THE REQUIRED RESULTS. UNIFORMLY MOISTEN EXCESSIVELY DRY SOIL THAT IS NOT WORKABLE AND TOO DUSTY.

TREE PITS SHALL BE EXCAVATED TO A DEPTH THAT ALLOWS FOR THE PLANTS TO BE SET AT THE SAME RELATIONSHIP TO FINISHED GRADE AS THEY BORE TO THE GROUND FROM WHICH THEY WERE DUG. USE PLANTING SOIL TO BACKFILL APPROXIMATELY 2/3 FULL WATER THOROUGHLY BEFORE INSTALLING REMAINDER OF THE PLANTING SOIL TO TOP OF PIT, ELIMINATING ALL AIR POCKETS. SET PLANTS PLUMB AND BRACE RIGIDLY IN POSITION UNTIL THE PLANTING SOIL HAS BEEN STAMPED SOLIDLY AROUND THE BALL AND ROOTS. CUT ROPES OR STRINGS FROM TOP OF BALL AFTER PLANT HAS BEEN SET. LEAVE BURLAP OR CLOTH WRAPPING INTACT AROUND BALLS. TURN UNDER AND BURY PORTIONS OF BURLAP AT TOP OF BALL. FOR CONTAINER GROWN PERENNIALS, CAREFULLY REMOVE FROM CONTAINERS WITHOUT BREAKING APART PLANTS OR ROOT SYSTEMS AND GENTLY LOOSEN SOIL. PLACE IN PIT EXCAVATED TO THE DEPTH THAT ALLOWS FOR THE PLANT TO BE SET AT ITS FORMER GRADE. BACKFILL TO 2/3 FULL AND WATER THOROUGHLY. BACKFILL WITH REMAINING PLANTING SOIL TO TOP OF PIT, ELIMINATING ALL AIR POCKETS. DISPOSE OF REMOVED CONTAINERS OFFSITE AT AN APPROVED LANDFILL.

PROTECT PLANTS AT ALL TIMES FROM SUN OR DRYING WINDS. PLANTS THAT CANNOT BE PLANTED IMMEDIATELY ON DELIVERY SHALL BE KEPT IN THE SHADE, WELL PROTECTED WITH SOIL, WET MOSS OR OTHER ACCEPTABLE MATERIAL AND SHALL BE KEPT WELL WATERED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN THREE DAYS AFTER DELIVERY. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL ONLY.

MULCH ALL PITS AND BEDS WITH A TWO-INCH LAYER OF BARKMULCH IMMEDIATELY AFTER PLANTING. TO WORKED BEDS OF HERBACEOUS PERENNIALS ADD MULCH TO A DEPTH OF 2". PROVIDE AN 3-FOOT DIAMETER MULCH CIRCLE AROUND THE BASE OF ALL LARGE TREES. IN NO INSTANCE IS MULCH TO BE PILED AGAINST THE BASE OF TREE AND SHRUB TRUNKS. MULCH AREAS AROUND BASE OF EACH PLANT AND IN PLANTER AREAS, WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.

G. STAKING AND PRUNING:

STAKE LARGE TREES IMMEDIATELY AFTER PLANTING. PLANTS SHALL STAND PLUMB AFTER STAKING. STAKES AND GUY WIRES SHALL BE OF THE SIZE AND MATERIAL SPECIFIED ABOVE AND POSITIONED AS SHOWN ON THE ACCOMPANYING PLANTING DETAIL. THEY SHALL BE REMOVED AT THE END OF THE GUARANTEE PERIOD AND DISPOSED OF OFF SITE BY THE CONTRACTOR.

REMOVE ALL DEAD WOOD, SUCKERS, OR BROKEN BRANCHES AND PRESERVE THE NATURAL CHARACTER OF THE PLANT.

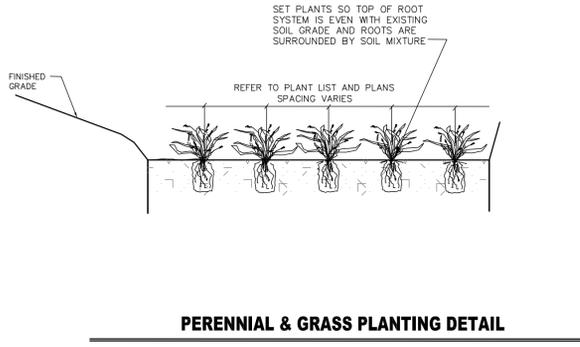
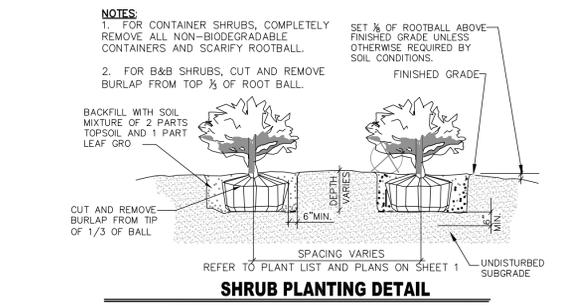
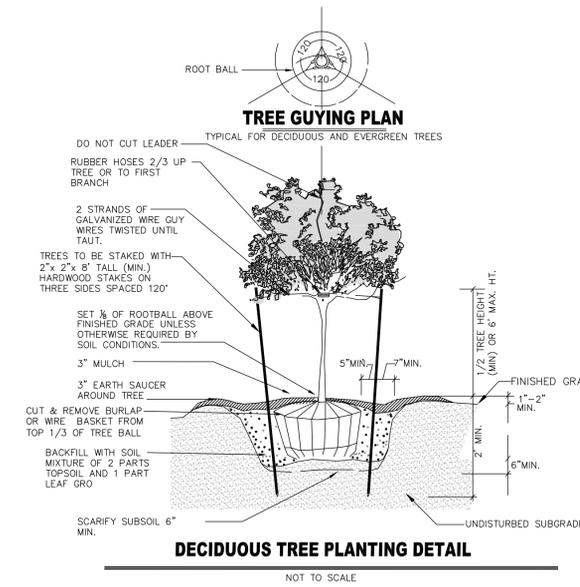
H. POST PLANTING RESPONSIBILITIES:

THE OWNER/DEVELOPER THROUGH HIS/HER CONTRACT WITH THE LANDSCAPE CONTRACTOR IS RESPONSIBLE AND SHALL INSURE ADEQUATE MAINTENANCE IS PROVIDED THROUGH THE INSTALLATION AND WARRANTY PERIOD AND FINAL INSPECTION BY THE COUNTY.

I. GUARANTEE:

TREES AND HERBACEOUS PERENNIALS SHALL BE GUARANTEED FOR TWO (2) FULL YEARS FROM THE DATE THAT THE LANDSCAPE INSTALLATION IS ACCEPTED AS COMPLETE AND HAVE A 100% SURVIVABILITY RATING AT THE END OF THE TWO YEARS. PLANT MATERIAL NOT FOUND TO BE IN A HEALTHY, VIGOROUS CONDITION AT THE BEGINNING OF THE SECOND GROWING SEASON IS TO BE REPLACED. BARE-ROOT SEEDLINGS SHALL BE GUARANTEED FOR A PERIOD OF FIVE (5) YEARS AND HAVE A 50% SURVIVABILITY RATE AT THE END OF 5 YEARS. SEEDLINGS NOT FOUND TO BE IN A HEALTHY VIGOROUS CONDITION AT THE END OF THE FIVE-YEAR PERIOD ARE TO BE REPLACED.

PLANTING DETAILS



PLANT SCHEDULES

LANDSCAPE PLANT SCHEDULE

KEY	QUA	BOTANICAL NAME	COMMON NAME	SIZE
CANOPY TREES				
AS	10	Acer saccharinum'Commemoration'	Commemoration Sugar Maple	1 - 1 1/2" cal. B&B
KP	5	Koeleruteria paniculata	Golden Rain Tree	1 - 1 1/2" cal. B&B
QC	10	Quercus coccinea	Scarlet Oak	1 - 1 1/2" cal. B&B
QQ	8	Quercus phellos	Willow Oak	2 - 2 1/2" cal. B&B
PA	6	Platanus x acerifolia'Bloodgood'	Bloodgood London Plane Tree	1 - 1 1/2" cal. B&B
UNDERSTORY TREES				
AC	6	Amerlanchier x grandiflora'Autumn Brilliance'	Autumn Brilliance Serviceberry	6 - 8' B&B Multi-stemmed
CV	8	Chionanthus virginicus	White Fringe Tree	6 - 8' B&B
CK	1	Cornus kousa chinensis	Kousa Dogwood	6 - 8' B&B
MS	1	Magnolia x soulangiana	Saucer Magnolia	8 - 10' Ht. B&B Multi-stemmed
PS	3	Prunus serrulata'Kwanzan'	Kwanzan Cherry	6 - 8' B&B
EVERGREEN CONIFERS				
IN	8	Ilex x 'Nellie R. Stevens'	Nellie R. Stevens Holly	5 - 6' Ht. B&B
NS	12	Picea abies	Norway Spruce	6 - 8' Ht. B&B
TO	9	Thuja occidentalis'Techny'	Techny Arborvitae	5 - 6' Ht. B&B
SHRUBS				
HA	5	Hydrangea arborescens'Incrediball'	Incredible Hydrangea	36 - 42" Cont.
HF	7	Hypericum frondosum'Sunburst'	Sunburst St John's Wort	18 - 24" Cont.
IC	10	Ilex crenata'Green Lustre'	Green Luster Holly	36 - 42" Cont.
IG	28	Ilex glabra'Shamrock'	Shamrock Inkberry	36 - 42" Cont.
SD	4	Spiraea x 'Double Play Doozie'	Double Play Doozie Spiraea	36 - 42" Cont.
TM	12	Taxus x media'Everlow'	Everlow Yew	36 - 42" Cont.
PERENNIALS				
LM	36	Liriope muscari'Big Blue'	Big Blue Liriope	1 Gal. Cont.
NF	30	Nepta x faasseni'Walkers Low'	Walkers Low Catmint	1 Gal. Cont.

SWM PLANT SCHEDULE

KEY	QUA	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SHRUBS					
Ca		Clethra alniolia'Sixteen Candles'	Sixteen Candles Sweet Pepperbush	18 - 24" Cont.	As Shown
Bp		Ilex verticillata'Berry Poppins'	Berry Poppins Winterberry	18 - 24" Cont.	As Shown
Mp		Ilex verticillata'Mr. Berry'	Mr. Berry Poppins Winterberry	18 - 24" Cont.	As Shown
Vs		Itea virginica'Henry's Gamet'	Henry's Gamet Virginia Sweetspire	18 - 24" Cont.	As Shown
PERENNIALS					
Al		Asclepias incarnata'Ice Ballet'	Ice Ballet Swamp Milkweed	1 Qt. Cont.	18"o.c. stag.
Na		Aster novae-angliae	New England Aster	1 Qt. Cont.	18"o.c. stag.
Ao		Aster oblongifolius'October Skies'	October Skies Aster	1 Qt. Cont.	18"o.c. stag.
Ba		Baptisia australis'Purple Smoke'	Purple Smoke Blue False Indigo	1 Qt. Cont.	24" o.c. stag.
Cv		Coreopsis verticillata'Moonbeam'	Moonbeam Tickseed	1 Qt. Cont.	18" o.c. stag.
Iv		Iris versicolor	Blue Flag	1 Qt. Cont.	12"o.c. stag.
Pd		Penstemon digitalis'Huskers Red'	Huskers Red Beard Tongue	1 Qt. Cont.	18" o.c. stag.
Rf		Rudbeckia fulgida'Goldsturm'	Black Eyed Susan	1 Qt. Cont.	12" o.c. stag.
GRASSES					
Pv		Panicum virgatum'Shenandoah'	Shenandoah Switch Grass	1 Gal. Cont.	As Shown

LANDSCAPE REQUIREMENTS

PARKING LOT LANDSCAPE
 Parking Lot Area: 15,702 sq.ft.
 Required Green Space: 15,702 sq.ft. x 10% = 1,570 sq.ft.
 Proposed Green Space: 3,732 sq.ft.

GENERAL LANDSCAPING
 Lot Area: 217,665 sq.ft.
 Required Landscaped Area: 217,665 sq.ft. x 15% = 32,650 sq.ft.
 Proposed Planting:
 - Afforestation Area = 32,670 sq.ft.
 - Canopy Trees = 475 sq.ft. x 25 = 11,875 sq.ft.
 - Understory Trees = 215 sq.ft. x 23 = 4,945 sq.ft.
 - Evergreen Trees = 60 sq.ft. x 20 = 1,200 sq.ft.
 - SWM Planting Areas = 2,670 sq.ft.
 - Parking Lot Landscaping = 1,080 sq.ft. (less swm area)
 Total Planting Proposed: 54,420 sq.ft. or 25%

PERIMETER LANDSCAPE SCREENING
 Screening is required to protect adjoining properties and roadways from noise, glare and uses which are visually incompatible with neighboring uses.
 The following uses and proposed buffers are provide to the adjacent properties:
 North - Industrial Use Proposed Buffer - existing hedgerow and supplement tree plantings.
 East - Road additional plantings to supplement and accentuate the entrance.
 South and West - Agricultural Use Proposed Buffer - proposed afforestation area to the west; evergreen and tree screening to the south.

KENT COUNTY PLANNING AND ZONING	KENT COUNTY DEPARTMENT OF WATER AND WASTEWATER		DAVIS, MOORE, SHEARON & ASSOCIATES, LLC P.O. BOX 80 CENTREVILLE, MARYLAND 21617 HUSTEAD Landscape Architecture, LLC 120 Bay Meadows Lane Stevensville, MD. 21666 Phone : 443.988.2294 E-mail: Vhustead@Husteadla.com Web: www.Husteadla.com	DATE	REVISION	LANDSCAPE DETAIL FOR THE ANIMAL CARE SHELTER FOR KENT COUNTY ON THE LANDS OF KENNEDYVILLE PROPERTIES, LLC TAX MAP - 28, GRID - 4C, PARCEL - 120	DATE	SCALE
KENT COUNTY HEALTH DEPARTMENT	KENT SOIL AND WATER CONSERVATION DISTRICT						MARCH '20	1" = 30'
						JOB No. 2019112	DRAWN BY WJM	
						FOLDER Ref 28-2019112	DESIGNED BY KJS	
						SHEET No. - L-2		
						CADD FILE - 19112-L2		

FOREST REQUIREMENTS AND CONSERVATION PROVIDED

PROPERTY ZONED - INDUSTRIAL
 PROPERTY CONSERVATION THRESHOLDS: CONSERVATION 15% = 0.75 AC.
 AFFORESTATION 15% = 0.75 AC.

TOTAL TRACT ACRES 81.32 AC.
 ACRES IN CHESAPEAKE BAY CRITICAL AREA 0.00 AC.
 AND OTHER DEDUCTIONS 76.32 AC.
 NET TRACT 5.00 AC.

EXISTING FOREST 0.00 AC.
 FOREST CONSERVATION REQUIRED 0.75 AC.
 FOREST TO BE DEVELOPED AND/OR CLEARED 0.00 AC.
 FOREST CONSERVATION PROVIDED 0.75 AC.
 RETAINED EXISTING FOREST 0.00 AC.
 AFFORESTATION PLANTING (ONSITE) 0.75 AC.

FOREST PROTECTION TIMETABLE DURING DEVELOPMENT ACTIVITIES

REQUIRED FOREST CONSERVATION INCLUDES THE ONSITE AFFORESTATION AREA.

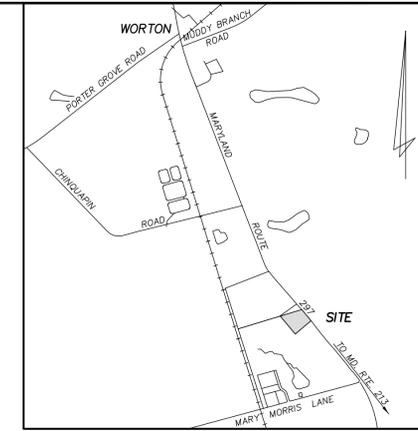
PROTECTIVE SIGNAGE WILL BE PLACED AROUND THE 0.25 ACRES PROTECTED FOREST AREA BOUNDARY UPON RECORDATION OF THE SUBDIVISION PLAT. PROTECTIVE SIGNS AND THEIR INSTALLATION SHALL MEET THE SPECIFICATIONS AND STANDARDS GIVEN IN THIS APPROVED FOREST CONSERVATION PLAN, FCA # 03-19-12- . SIGNS MUST BE MAINTAINED INDEFINITELY.

NOTES:

- PROTECTED FOREST AREA SHOWN HEREON ARE PROHIBITED FROM CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT BY A RESTRICTIVE DEED OF FOREST CONSERVATION EASEMENT RECORDED IN THE LAND RECORDS OF KENT COUNTY.
- PRIORITY AREA SELECTED FOR FOREST CONSERVATION CONSIST OF THE SOIL "MnB" MATAPEAKE SILT LOAM, A NON-HYDRIC SOIL WITH A HYDROLOGIC SOIL GROUP OF "C". SLOPES ARE FROM 2 TO 5 PERCENT.

FOREST CONSERVATION WORKSHEET

NET TRACT AREA	
TOTAL TRACT AREA	= 81.32
DEDUCTIONS	= 76.32
NET TRACT AREA	= 5.00
LAND USE CATEGORY	
ARA	0
MDR	0
IDA	1
HDR	0
MPD	0
CIA	0
AFFORESTATION THRESHOLD (Net Tract Area X 15%)	= 0.75
CONSERVATION THRESHOLD (Net Tract Area X 15%)	= 0.75
EXISTING FOREST COVER	
EXISTING FOREST COVER WITHIN THE NET TRACT AREA	= 0.00
AREA OF FOREST ABOVE CONSERVATION THRESHOLD	= 0.00
BREAK EVEN POINT	
BREAK EVEN POINT	= 0.00
FOREST CLEARING PERMITTED WITHOUT MITIGATION	= 0.00
PROPOSED FOREST CLEARING	
TOTAL AREA OF FOREST TO BE CLEARED	= 0.00
TOTAL AREA OF FOREST TO BE RETAINED	= 0.00
PLANTING REQUIREMENTS	
REFORESTATION FOR CLEARING ABOVE THE CONSERVATION THRESHOLD	= 0.00
REFORESTATION FOR CLEARING BELOW THE CONSERVATION THRESHOLD	= 0.00
CREDIT FOR RETENTION ABOVE THE CONSERVATION THRESHOLD	= 0.00
TOTAL REFORESTATION REQUIRED	= 0.00
TOTAL AFFORESTATION REQUIRED	= 0.75
TOTAL PLANTING REQUIRED	= 0.75



VICINITY MAP
SCALE 1" = 2000'

AFFORESTATION PLANTING PLAN

FOREST CONSERVATION APPLICATION NUMBER: FCP# 03-19-12-

PROPERTY OF: THE HUMANE SOCIETY OF KENT COUNTY, MD., INC.

AFFORESTATION SITE LOCATION: COUNTY: KENT ELECTION DISTRICT: 3rd DATE: 4/24/2020
 TAX MAP: 28 LOT: 2 PARCEL: 120

AFFORESTATION AREA ASSESSMENT:
 0.75 ACRES OF AN EXISTING GRASS AREA COMPRISED OF INGLESIDE SILT LOAM (Igb)

PRE-PLANTING: MOWING AND DISKING TO ELIMINATE COMPETING HERBACEOUS VEGETATION AND AERATION OF SOIL ARE RECOMMENDED BEFORE PLANTING.

PLANTING SCHEDULE: WITHIN ONE YEAR OR TWO GROWING SEASONS AFTER RECORDATION OF THE APPROVED SUBDIVISION.

MATERIAL: ROOTED AND BALLED NURSERY GROWN STOCK WITH CALIPER GREATER THAN 1-1/2"

SOURCE: LANDSCAPE CONTRACTOR AS CONTRACTED BY FOX POINT PROPERTIES, LLC

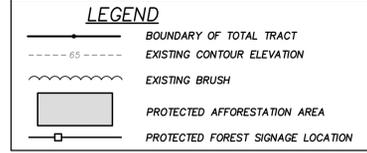
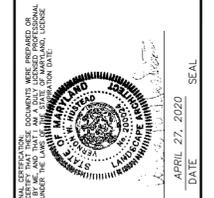
STOCK: 75 TOTAL TREES:
 21 Sugar Maple
 15 Eastern Redbud
 18 Eastern Redcedar
 21 Sycamore

METHOD: APPROXIMATELY FIFTEEN FEET SPACING BETWEEN TREES PLANTED WITH A MECHANICAL PLANTER OR MANUALLY WITH SHOVEL, SUPPORTED WITH TREE STAKES AND GUY WIRES, AND PROTECTED FROM DEER BROWSING WITH A TREE SHELTER.

POST PLANTING: "PROTECTED FOREST AREA" SIGNS BOLTED ON STEEL FENCE POSTS ERECTED AT 50 FOOT INTERVALS FACING OUTWARD ALONG THE AFFORESTATION AREA BOUNDARIES AND PROTECTION FENCING.

INSPECTIONS: AFFORESTATION MUST BE INSPECTED AT 12 AND 24 MONTH INTERVALS AFTER PLANTING, AND A WRITTEN REPORT ADDRESSING STATUS OF THE TREES AND RECOMMENDATIONS FOR CORRECTING ANY NOTABLE EXISTING MORTALITY (DAMAGE, DISEASE, DROUGHT, PESTS, ETC.) FILED WITH THE FOREST CONSERVATION COORDINATOR AT QUEEN ANNE'S COUNTY DEPARTMENT OF LAND USE, GROWTH MANAGEMENT & ENVIRONMENT.

ESTIMATED COST: STOCK, POSTS, BOLTS, SIGNS, PLUS LABOR FOR OBTAINING THE MATERIALS AND PLANTING, ERECTING SIGNS & POSTS, ANNUAL INSPECTION AND REPORTS: ESTIMATED COST: \$



AFFORESTATION TREE CALCULATIONS

Required Afforestation Area: 0.75 acres
 Required Planting Ratio: 100 trees per acre for 1 1/2" Caliber tree size
 Required Trees: 0.75 x 100 = 75 trees

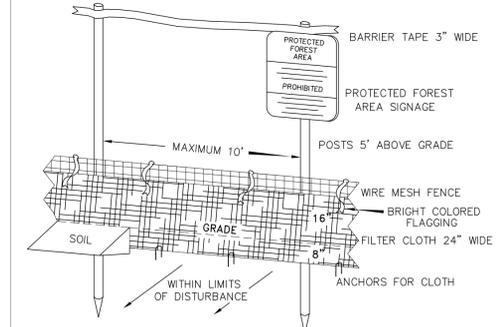
AFFORESTATION PLANT SCHEDULE

QUA BOTANICAL/COMMON NAME	SIZE & ROOT
21 Acer saccharum/Sugar Maple	1.5 - 1.75" Cal. B&B
15 Cercis canadensis/Eastern Redbud	1.5 - 1.75" Cal. B&B
18 Juniperus virginiana/Eastern Redcedar	1.5 - 1.75" Cal. B&B
21 Platanus acerifolia/Sycamore	1.5 - 1.75" Cal. B&B
75 Total Trees Proposed	

FOREST PROTECTION DEVICE PROTECTIVE FENCING DETAIL

- CONSTRUCTION FENCING SUCH AS FILTER CLOTH, CHAIN-LINK, PLASTIC OR WIRE MESH, STAKED STRAW BALES, BARBED WIRE, OR SNOW FENCING MAY BE USED TO MARK BOUNDARIES OF "PROTECTED FOREST AREAS" DURING CLEARING, GRADING, AND/OR CONSTRUCTION; HOWEVER THE FENCE MUST MEET THE FOLLOWING REQUIREMENTS:
- FENCE POSTS MUST BE A MINIMUM OF 5' ABOVE GRADE WITH CLOTH, MESH, WIRE OR SLATS SECURELY ATTACHED TO FORM A STRUCTURE CAPABLE OF RESISTING THE WEIGHT OF AN ADULT HUMAN. BRIGHTLY COLORED, 3" WIDE, PLASTIC, BARRIER TAPE MUST BE STRUNG BETWEEN THE TOPS OF EACH FENCE POST.
 - BRIGHTLY COLORED FENCING SLATS, MESH, OR CLOTH, EXTENDING FROM GROUND TO AT LEAST 4' ABOVE GRADE ARE RECOMMENDED. DRAB FENCING MATERIALS (CLOTH, WIRE) MAY BE HIGH-LIGHTED WITH COLORED FLAGGING STREAMERS AT FREQUENT INTERVALS ALONG THE UPPER EDGE.
 - PROTECTED FOREST AREA SIGNAGE (SEE ENCLOSED DETAIL) MUST BE ATTACHED TO FENCE POSTS A MINIMUM OF EVERY 50 FEET.
 - SEE STATE, MUNICIPAL OR COUNTY FOREST CONSERVATION MANUAL FOR ILLUSTRATIONS OF VARIOUS TYPES OF PROTECTED FOREST AREA FENCING, AND THE ENCLOSED EXAMPLE OF A MODIFIED STANDARD FILTER CLOTH FENCE USED FOR SEDIMENT CONTROL AND FOREST PROTECTION.

FENCING EXAMPLE



OWNER/DEVELOPER:

THE HUMANE SOCIETY OF KENT COUNTY, MD., INC.
 10720 AUGUSTINE HERMAN HIGHWAY
 CHESTERTOWN, MARYLAND 21620
 PHONE No. 1-410-778-3648

ENGINEER

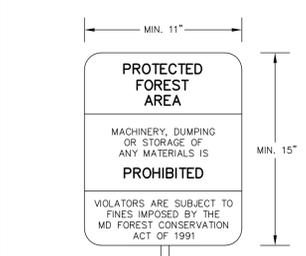
DMS & ASSOCIATES, LLC
 P.O. BOX 80
 CENTREVILLE, MARYLAND 21617
 PHONE No. 1-443-262-9130

FOREST PROTECTION PLAN

ANY CLEARING, GRADING AND/OR CONSTRUCTION PROPOSED WITHIN 50 FEET OF PROTECTED FOREST AREAS MUST COMPLY WITH THE FOLLOWING FOREST PROTECTION PLAN:

- FIELD LOCATION OF THE PROTECTED FOREST AREA BOUNDARIES, IN ACCORDANCE WITH SURVEY COURSES AND DISTANCES AND CRITICAL ROOT ZONE DETERMINATION GIVEN IN THIS APPROVED FOREST CONSERVATION PLAN, FCA # 03-19-12-
- INSTALLATION OF PROTECTIVE SIGNAGE ALONG THE PROTECTED FOREST AREA BOUNDARIES IN ACCORDANCE WITH DETAILS ENCLOSED IN THIS APPROVED FOREST CONSERVATION PLAN, FCA # 03-19-12-
- NOTIFY THE KENT COUNTY DEPARTMENT OF PLANNING AND ZONING, FOREST CONSERVATION COORDINATOR TO CONDUCT PRE-CLEARING/GRADING/CONSTRUCTION FIELD INSPECTION OF THE BOUNDARY LOCATION AND INSTALLED FOREST PROTECTION DEVICES.
- AFTER INSPECTION APPROVAL IS GRANTED, CONDUCT THE CLEARING, GRADING AND/OR CONSTRUCTION.
- AFTER COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND BEFORE REMOVAL OF THE FOREST PROTECTION DEVICES, NOTIFY THE KENT COUNTY DEPARTMENT OF PLANNING AND ZONING, FOREST CONSERVATION COORDINATOR TO CONDUCT A FIELD INSPECTION OF THE PROTECTED FOREST AREAS.

FOREST PROTECTION DEVICE PROTECTIVE SIGNAGE DETAIL



- SIGNS TO BE PLACED AT MAXIMUM OF 50 FEET INTERVALS ALONG PROTECTED FOREST BOUNDARY.
- SIGNS CANNOT BE NAILED, SCREWED OR STAPLED TO TREES.
- SIGNS WITH SIMILAR WORDING MAY BE OBTAINED FROM SURVEYOR/FORESTRY SUPPLY STORES.

CRITICAL ROOT ZONE

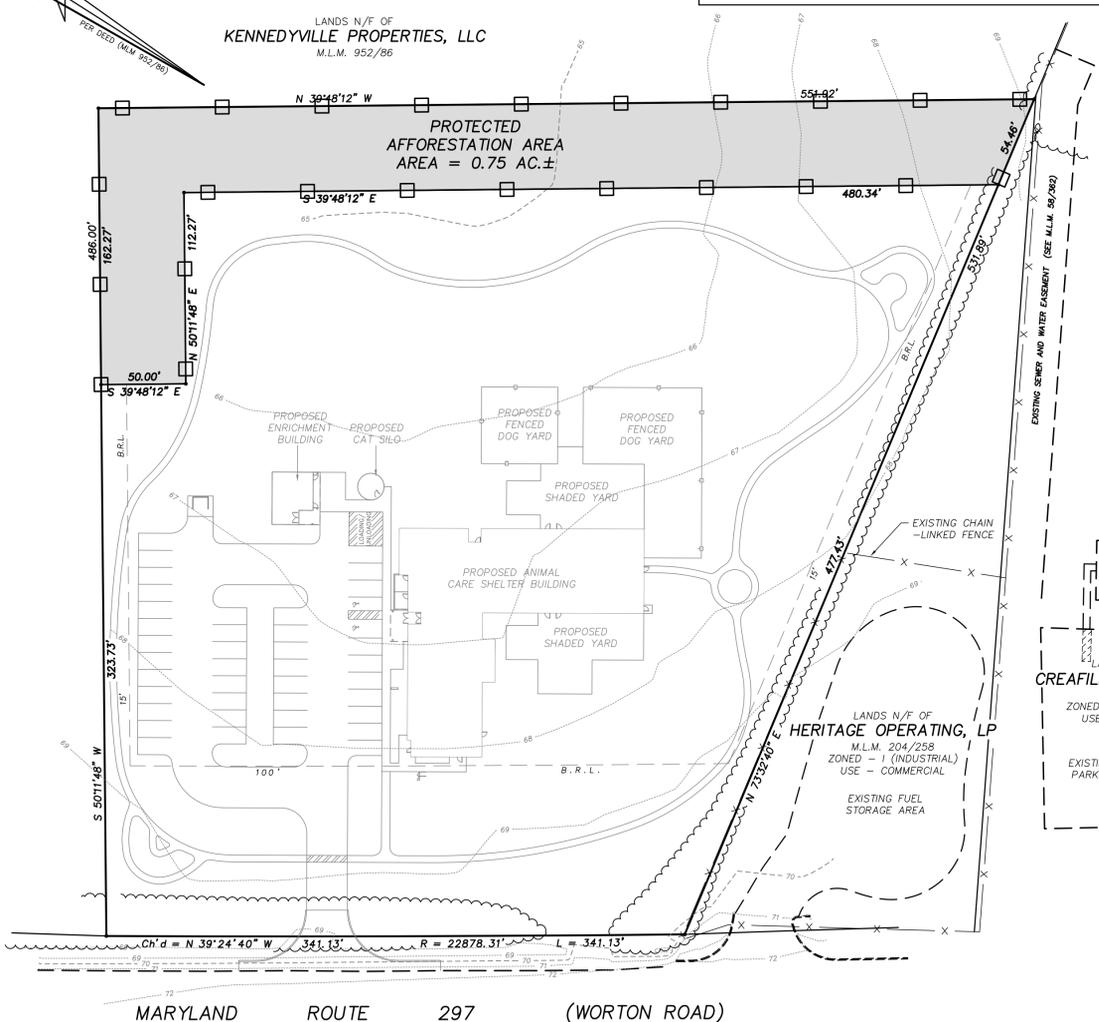
AREA OF ROOT PROTECTION NECESSARY FOR TREE SURVIVAL. DEFINED ZONE ENCIRCLES A TREE TRUNK ONE FOOT OUTWARD FOR EACH INCH OF TRUNK DIAMETER MEASURED AT 4.5 FEET ABOVE GROUND. MINIMUM RADIUS IS 8 FEET. THE ZONE IS 1.5 FEET OUTWARD FOR EACH TRUNK DIAMETER EQUALING OR EXCEEDING 30 INCHES, AND FOR ALL TREES WITHIN A RETENTION AREA LESS THAN 10,000 SQ. FT.

FIELD LOCATION AND MARKING OF THE PROTECTED FOREST BOUNDARY MAY REQUIRE A CRITICAL ROOT ZONE DETERMINATION FOR EACH INDIVIDUAL TREE IN CLOSE PROXIMITY TO THE BOUNDARY. THE DETERMINATION SAVES TREES WITH APPROXIMATELY 70 PERCENT OR MORE OF THE CRITICAL ROOT ZONE IN THE RETENTION AREA BY ADJUSTING THE RETENTION AREA BOUNDARY TO INCLUDE THE ENTIRE CRITICAL ROOT ZONE. THE FOLLOWING EXAMPLE SHOWS USE OF THE CRITICAL ROOT ZONE IN ESTABLISHING A FINAL RETENTION AREA BOUNDARY.

PROTECTED FOREST RETENTION AREA	AREA TO BE CLEARED	TREE	ASSESSMENT	DETERMINATION
1	1	APPROXIMATELY 65% OF C.R.Z. IN RETENTION AREA. WORTH MOVING BOUNDARY TO ACCOMMODATE TREE.	SAVE	
2	2	APPROXIMATELY 80% OF C.R.Z. IN RETENTION AREA. MOVE BOUNDARY TO INCLUDE ENTIRE ZONE.	SAVE	
3	3	APPROXIMATELY 25% OF C.R.Z. IN RETENTION AREA. NOT WORTH MOVING BOUNDARY.	REMOVE	
4	4	NONE OF C.R.Z. IN RETENTION AREA.	REMOVE	
5	5	NEARLY ENTIRE C.R.Z. WITHIN RETENTION AREA. MOVE BOUNDARY TO INCLUDE ENTIRE ZONE.	SAVE	
6	6	TRUNK AND OVER 50% OF C.R.Z. OUTSIDE RETENTION AREA. NOT WORTH MOVING BOUNDARY.	REMOVE	



- NOTES:
- TREE SPECIES AND HEALTH SHOULD BE CONSIDERED IN C.R.Z. ASSESSMENTS ALONG THE RETENTION AREA BOUNDARY.
 - ANY DISTURBED CRITICAL ROOT ZONE IN THE RETENTION AREA MUST BE SHOWN ON THE FOREST CONSERVATION PLAN.
 - PRUNING, AERATION, TUNNELING, STORMWATER MANAGEMENT AND OTHER PROCEDURES (SEE EXAMPLES IN APPENDIX C OF 1995 STATE FOREST CONSERVATION TECHNICAL MANUAL, 2ND EDITION) SHOULD BE CONSIDERED TO ENSURE LONG TERM SURVIVAL OF RETAINED TREES.



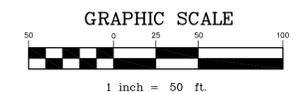
APPROVED FOREST CONSERVATION PLAN (AUTHORIZATION) DATE: 4.27.20

LANDS N/F OF MILLARD F. REED, Jr. M.L.M. 448/139 ZONED - AZD USE - AGRICULTURAL

LANDS N/F OF JAMES E. LINDAUER, et ex M.L.M. 489/505 ZONED - I (INDUSTRIAL)/AZD USE - AGRICULTURAL

THIS FOREST CONSERVATION PLAN IS PREPARED BY HUSTEAD LANDSCAPE ARCHITECTURE, LLC, WHO MEETS THE FORESTRY REQUIREMENTS OF MARYLAND C.O.M.A.R. 08.19.01.06 AND ARE APPROVED BY THE MARYLAND DEPARTMENT OF NATURAL RESOURCES, FOREST CONSERVATION PROGRAM AS PROFESSIONALS QUALIFIED TO CONDUCT FCP.

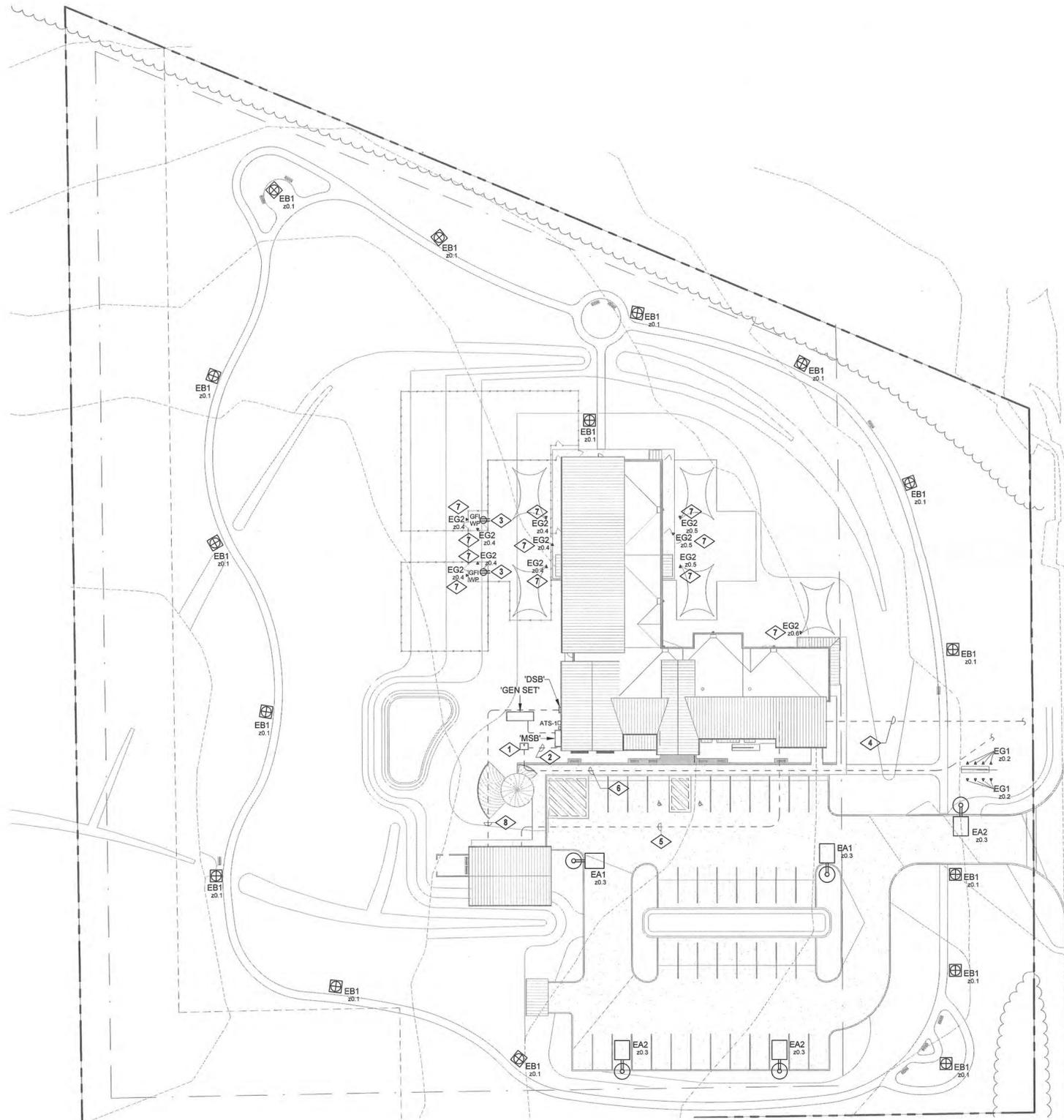
QUALIFIED PROFESSIONAL: VERNON HUSTEAD HUSTEAD LANDSCAPE ARCHITECTURE, LLC 120 BAY MEADOW LANE STEVENSVILLE, MARYLAND 21666 PHONE No. 443-988-2294



REVISION	DATE	PER	TAC	COMMENTS
1-14-20	2-11-20			REVISED FOREST AREA

FOREST CONSERVATION PLAT (FCP #03-19-12-) OF THE LANDS OF THE HUMANE SOCIETY OF KENT COUNTY, MD., INC. NEAR THE VILLAGE OF WORTON TAX MAP - 28, GRID - 4C, - PARCEL - 120 THIRD ELECTION DISTRICT, KENT COUNTY, MARYLAND PREPARED FOR : THE HUMANE SOCIETY OF KENT COUNTY, MD., INC.

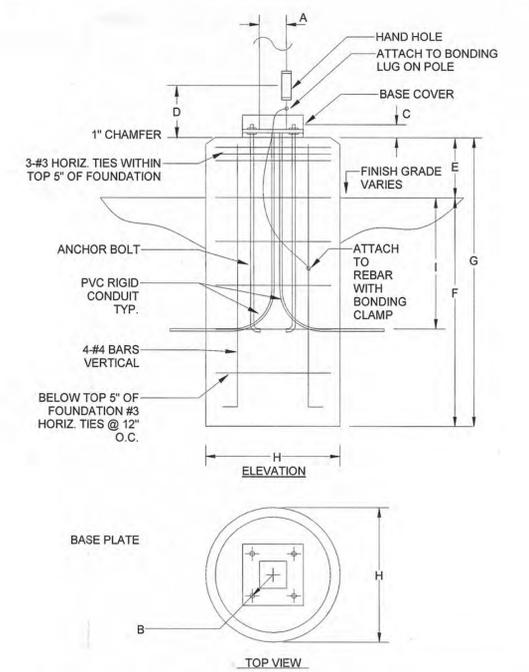
SCALE: 1" = 50'
 DRAWN BY: J. MOORE
 DESIGNED BY: J. MOORE
 SHEET No. - 28-2019122
 CADD FILE - 1912FCP1



SITE GENERAL NOTES	
A	UNLESS OTHERWISE NOTED, ALL CIRCUIT NUMBERS INDICATED ON THIS SHEET SHALL REFER TO CIRCUIT ORIGINATING IN PANELBOARDS BASED UPON THE FOLLOWING CONVENTION. (THIS SHEET ONLY). TBD-# = CIRCUIT TO PANEL 'TBD'
B	ALL EXTERIOR LIGHTING CIRCUITS SHALL UTILIZE A MINIMUM WIRE SIZE OF #8AWG COPPER UON.

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
1	LOCATION OF BUILDING UTILITY TRANSFORMER AND CONCRETE PAD. DELMARVA POWER SHALL FURNISH AND INSTALL ALL PRIMARY CONDUIT AND CABLING BETWEEN THE NEAREST UTILITY SWITCH CABINET AND THE PRIMARY CONNECTION POINT AT THE TRANSFORMER. THE CONTRACTOR SHALL PERFORM ALL TRENCHING AND BACKFILLING ON THE PRIMARY AND SECONDARY SIDE OF THE TRANSFORMER. DELMARVA POWER SHALL FURNISH AND INSTALL THE TRANSFORMER. THE TRANSFORMER CONCRETE PAD SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR PER THE REQUIREMENTS OF DELMARVA POWER. THE CONTRACTOR SHALL FURNISH AND INSTALL THE CONDUIT/CABLING ON THE SECONDARY SIDE OF THE TRANSFORMER. DELMARVA POWER SHALL MAKE ALL CONNECTIONS OF THE PRIMARY AND SECONDARY CABLING AT THE TRANSFORMER LANDINGS. ALL COSTS FOR WORK DESCRIBED ABOVE TO BE PERFORMED BY DELMARVA POWER SHALL BE BILLED TO THE NEW PROJECT NUMBER TO BE PAID BY THE PROJECT OWNER.
2	APPROXIMATE ROUTING OF THE UNDERGROUND CONDUIT SYSTEM BETWEEN THE TRANSFORMER AND THE BUILDING EXTERIOR MAIN DISCONNECT 'MSB'. REFER TO ELECTRICAL ONE LINE DIAGRAM FOR MORE INFORMATION.
3	EG SHALL PROVIDE GFI/WP RECEPTACLE MOUNTED WITHIN OUTDOOR RECEPTACLE POST, GARD-N-POST #GP19X. COORDINATE FINAL LOCATION WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
4	APPROXIMATE ROUTING OF CONDUIT BETWEEN TELECOMMUNICATIONS UTILITY CONNECTIONS PEDESTAL AND THE BUILDING MDF LOCATION FOR LOW VOLTAGE TELECOMMUNICATIONS UTILITY SERVICE CABLING RACEWAY. REFER TO LOW VOLTAGE RISER DIAGRAM #4/E-6.0 FOR MORE INFORMATION.
5	PROVIDE (1) 2" C ROUTED FROM BUILDING IT CLOSET 129 TO STUB OUTSIDE THE BUILDING FOR COMMUNICATIONS CONNECTION RACEWAY TO ENRICHMENT BUILDING.
6	APPROXIMATE ROUTING OF UNDERGROUND CONDUIT BETWEEN UTILITY PRIMARY AND NEW TRANSFORMER. REFER TO THE ELECTRICAL ONE LINE FOR MORE INFORMATION.
7	LIGHTING FIXTURE SHALL BE MOUNTED ALONG RIGID FENCE POST STRUCTURE.
8	APPROXIMATE ROUTING OF UNDERGROUND CONDUIT BETWEEN 'DSB' AND ENRICHMENT BUILDING. REFER TO ELECTRICAL ONE LINE DIAGRAM FOR MORE INFORMATION.

SITE SEQUENCE OF OPERATIONS	
THE FOLLOWING CONTROL SEQUENCE OF OPERATIONS ARE UTILIZED IN THIS PLAN. REFER TO PLAN AND/OR ZONE/RELAY SCHEDULE FOR SPECIFIC ASSOCIATED SEQUENCE.	
ET1	ET2



POLE KEY	OVERALL HEIGHT	A	ANCHOR BOLT DATA			D	E	F	G	H	I
			B	C	SIZE						
EA1	12'0"	4"	PER MANUFACTURER			X'0"	0'0"	6'0"	X'0"	24"	36"
EA2	18'0"	4"	PER MANUFACTURER			0'0"	6'0"	6'0"	6'0"	24"	36"
EA3	24'0"	4"	PER MANUFACTURER			0'0"	6'0"	6'0"	6'0"	24"	36"
EA4	30'0"	4"	PER MANUFACTURER			0'0"	6'0"	6'0"	6'0"	24"	36"
EA5	36'0"	4"	PER MANUFACTURER			0'0"	6'0"	6'0"	6'0"	24"	36"

2 POLE BASE DETAIL
E-1.0 N.T.S.

3 ELECTRICAL SITE PLAN
E-1.0 1/32" = 1'-0"



ANIMAL ARTS
architecture • animals • people
4520 BROADWAY, SUITE E
BOULDER CO, 80304
1.800.332.4413
FAX 303.444.1759

Animal Care Shelter for Kent County
Worton Rd. Kent County, MD

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REVISIONS

APPROVALS

SEAL

DRAWING TITLE
ELECTRICAL SITE PLAN

DATE: 02/28/20

E-1.0

AEDESIGN
Integrated Lighting and Electrical Solutions
1900 Wazee Street #205 Denver, CO 80202.303.296.3034
aedesign-inc.com Project #: 4739.00

50% CD - NOT FOR CONSTRUCTION



D-Series Size 0 LED Area Luminaire



Catalog Number
Notes
Type

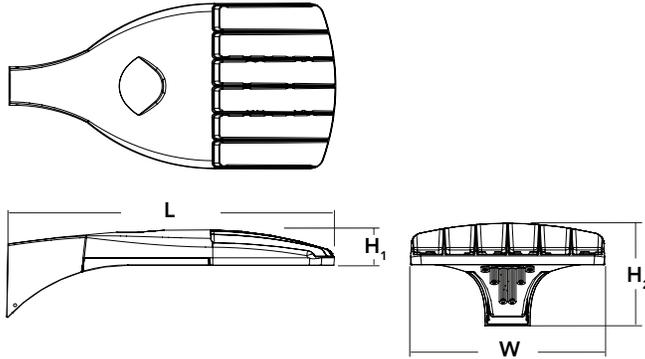
Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

Specifications

EPA:	0.95 ft ² (.09 m ²)
Length:	26" (66.0 cm)
Width:	13" (33.0 cm)
Height ₁ :	3" (7.62 cm)
Height ₂ :	7" (17.8 cm)
Weight (max):	16 lbs (7.25 kg)



A+ Capable options indicated by this color background.

Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX0 LED	Series	LEDs	Color temperature	Distribution	Voltage	Mounting	
DSX0 LED	Forward optics	P1 P4 P7	30K 3000 K 40K 4000 K 50K 5000 K	T1S Type I short T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium T5VS Type V very short ²	T5S Type V short T5M Type V medium T5W Type V wide BLC Backlight control ³ LCCO Left corner cutoff ³ RCCO Right corner cutoff ³	MVOLT ^{4,5} 120 ⁵ 208 ⁵ 240 ⁵ 277 ⁵ 347 ^{5,6} 480 ^{5,6}	Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket ² SPUMBA Square pole universal mounting adaptor ⁷ RPUMBA Round pole universal mounting adaptor ⁷ Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁸

Control options	Other options	Finish (required)
Shipped installed NLTAIR2 nLight AIR generation 2 enabled ^{9,10} PIRHN Network, high/low motion/ambient sensor ¹¹ PER NEMA twist-lock receptacle only (control ordered separate) ¹² PER5 Five-pin receptacle only (control ordered separate) ^{12,13} PER7 Seven-pin receptacle only (leads exit fixture) (control ordered separate) ^{12,13} DMG 0-10V dimming extend out back of housing for external control (control ordered separate) ¹⁴	PIR High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ^{15,16} PIRH High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ^{15,16} PIR1FC3V High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{15,16} PIRH1FC3V High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{15,16} FAO Field adjustable output ¹⁷	Shipped installed HS House-side shield ¹⁸ SF Single fuse (120, 277, 347V) ⁵ DF Double fuse (208, 240, 480V) ⁵ L90 Left rotated optics ¹ R90 Right rotated optics ¹ DDL Diffused drop lens ¹⁸ Shipped separately BS Bird spikes ¹⁹ EGS External glare shield
		DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white





KBD8 LED

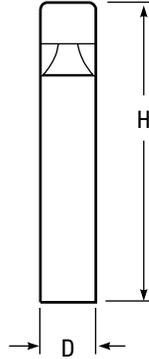
LED Specification Bollard

Specifications

8" Round
(20.3 cm)

Height: 42"
(106.7 cm)

Weight (max): 27lbs
(12.25 kg)



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The KBD8 Bollard is a stylish, fully integrated LED solution for walkways. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 70% in energy savings over comparable 100W metal halide luminaires, the KBD8 Bollard is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

EXAMPLE: KBD8 LED 16C 700 40K SYM MVOLT DDBXD

KBD8 LED												
Series	LEDs	Drive current		Color temperature		Distribution		Voltage	Control options	Other options	Finish <i>(required)</i>	
KBD8 LED	Asymmetric 12C 12 LEDs ¹	350	350 mA	30K	3000 K	ASY	Asymmetric ¹	MVOLT ⁵	Shipped installed PE Photoelectric cell, button type DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ELCW Emergency battery backup ⁶	Shipped installed SF Single fuse (120, 277, 347V) ^{4,7} DF Double fuse (208, 240V) ^{4,7} H24 24" overall height H30 30" overall height H36 36" overall height FG Ground-fault festoon outlet L/AB Without anchor bolts (3 bolt base) L/AB4 4 bolt retrofit base without anchor bolts ⁸	DWHXD	White
		450	450 mA ^{3,4}	40K	4000 K	SYM	Symmetric ²	120 ⁵			DNAXD	Natural aluminum
		530	530 mA	50K	5000 K			208 ⁵			DDBXD	Dark bronze
	700	700 mA	AMBPC	Amber phosphor converted			240 ⁵	DBLXD			Black	
	Symmetric 16C 16 LEDs ²			AMBLW	Amber limited wavelength ^{3,4}			277 ⁵			DDBTXD	Textured dark bronze
							347 ⁴	DBLXBD	Textured black	DNATXD	Textured natural aluminum	
											DWHGXD	Textured white

Accessories

Ordered and shipped separately.

MRAB U Anchor bolts for KBD8 LED⁸

NOTES

- Only available in the 12C, ASY version.
- Only available in the 16C, SYM version.
- Only available with 450 AMBLW version.
- Not available with ELCW.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options), or photocontrol (PE option).
- Not available with 347V. Not available with fusing. Not available with 450 AMBLW.
- Single fuse (SF) requires 120, 277, or 347 voltage option. Double fuse (DF) requires 208 or 240 voltage option.
- MRAB U not available with L/AB4 option.



DATE	PROJECT	FIRM	TYPE
------	---------	------	------

RISE IS A SYSTEM OF BEAUTIFULLY DESIGNED OUTDOOR RATED LUMINAIRES THAT PROVIDE EFFICIENT AND POWERFUL LIGHT USING THE LATEST IN LED TECHNOLOGY. RISE F080 SINGLE IS A POWERFUL AND COMPACT LED LIGHT FIXTURE, DELIVERING UP TO 1170 LUMENS, THAT CAN BE USED IN SPOT, ACCENT, LANDSCAPE AND FLOODLIGHT APPLICATIONS. ITS UNIQUE MACRO[™] LOCK FEATURE ALLOWS FOR FULL 180 DEGREE TILT AND 360 DEGREE PAN AIMABILITY USING ONLY ONE TWIST.

FEATURES :

- POWERFUL CBCP
- EXTREMELY COMPACT
- POWERFUL OUTPUT UP TO 1170 LUMENS
- MACRO[™] LOCK - 180° TILT AND 360° PAN
- 12 UNIQUE BEAM ANGLES
- MULTIVOLT (110V-277V)
- 8 CCTS: 2200K THROUGH 6500K
- 80+ AND 90+ CRI
- DIMMABLE TO 5%
- IP66 RATED



FIXTURE MODEL	FIXTURE CONFIG.	POWER/LUMEN OUTPUT*	CCT/COLOR	CRI	BEAM ANGLE	FINISHES	ACCESSORIES	WIRING AND MOUNTING
F080	1R - Single Round	LO - Low Output MO - Medium Output HO - High Output	22 - 2200K 25 - 2500K 27 - 2700K 30 - 3000K 35 - 3500K 40 - 4000K 50 - 5000K 65 - 6500K RD - Red GR - Green BL - Blue AM - Amber *2200K and 2500K not available in 40°, 60°, 70° and 90°	8 - 80 9 - 90* X - For RD, GR, BL, AM *90 CRI not available in 2500K, 5000K, and 6500K	05 - Laser Spot (5°) 10 - Very Narrow Spot (10°) 15 - Narrow Spot (15°) 20 - Spot (20°) 40 - Flood (40°) 60 - Medium Flood (60°) 70 - Wide Flood (70°) 90 - Very Wide Flood (90°) E1 - Elliptical 1 (15°x60°) E2 - Elliptical 2 (30°x60°) E3 - Elliptical 3 (60°x15°) E4 - Elliptical 4 (60°x30°)	K - Black Z - Bronze S - Silver W - White C - Custom* *Provide RAL #	X - No Accessory RH - Half Snoot RF - Full Snoot Will ship as X if not specified	A - 19" Flying Leads - Internal Cable IC; Bottom Exit; 1/2" NPT ; UL/CE Listed B* - 10' External Cable Side Exit; Surface Mount ; UL Listed C* - 10' External Cable Bottom Exit; Surface Mount - 1/2" NPT ; UL Listed D* - 10' External Cable Side Exit; Surface Mount ; CE Listed E* - 10' External Cable Bottom Exit; Surface Mount - 1/2" NPT; CE Listed *Will ship as A if not specified

EXAMPLE: F080-1R-LO-22-8-05-S-X-A

*SEE PHOTOMETARY CHART FOR LUMEN DATA

PERFORMANCE	WATTS	POWER	LUMEN OUTPUT		EFFICACY		CBCP	
			5°	40°	5°	40°	5°	40°
	4	Low Output	309	429	76	107	21,991	705
	7.5	Medium Output	531	761	71	101	37,824	1,251
	11.5	High Output	744	1,120	65	99	53,048	1,874

ALL LUMEN DATA IS FROM 4000K 80CRI FIXTURES. PLEASE SEE PHOTOMETRY SPEC SHEET FOR ADDITIONAL LUMEN DATA.

COLOR RENDERING INDEX
COLOR CONSISTENCY
LUMEN DEPRECIATION

80+, 90+		3-STEP MACADAM ELLIPSE			
	WATTS	L70 @ 25C	L70 @ 50C	L90 @ 25C	L90 @ 50C
LOW	>60,500*	>60,500*	>60,500*	>60,500*	>60,500*
	>(109,000)**	>(109,000)**	>(109,000)**	>(109,000)**	>(109,000)**
MEDIUM	>60,500*	>60,500*	>60,500*	>60,500*	>60,500*
	>(109,000)**	>(109,000)**	>(109,000)**	>(109,000)**	>(109,000)**
HIGH	>60,500*	>36,300*	>60,500*	>60,500*	>33,200*
	>(181,000)**		>(69,800)**		

* ENERGY STAR REPORTED TESTING HOURS TO DATE. CALCULATIONS FOR LED FIXTURES ARE BASED ON MEASUREMENTS THAT COMPLY WITH IES LM-80 TESTING PROCEDURES AND IES TM-21 CALCULATOR
** ESTIMATED HOURS

NOTE: Information on this Spec Sheet is subject to change, please visit ecosenselighting.com/downloads/raise for the most updated information.

ECOSENSE LIGHTING INC.
837 NORTH SPRING STREET
SUITE 103
LOS ANGELES, CA 90012

P • 310.496.6255
F • 310.496.6256
T • 855.632.6736
855.6.ECOSEN

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ECOSENSELIGHTING.COM

1/4

FEATURES & SPECIFICATIONS

INTENDED USE — Ideal for applications requiring low-profile, attractive emergency lighting with Optional normally-off or normally-on with photocell control. Provides a minimum of 90 minutes of illumination both indoors and outdoors upon loss of AC power. **Certain airborne contaminants can diminish the integrity of acrylic and/or polycarbonate. Click here for Acrylic-Polycarbonate Compatibility table for suitable uses.**

CONSTRUCTION — Compact, low-profile, architectural design with die-cast aluminum housing. Finishes are textured powder coat paint for dark bronze, white, black and non-texturized for natural aluminum. Test switch indicator light and remote enabled are located on the bottom of the housing and are easily accessible and visible from the floor.

OPTICS — LEDs with L70 of 55,000 hours. Delivers 635 lumens in Normal-On and Emergency operation. Optional field configurable for wide and forward throw distribution (**US Patent Pending**). Outdoor wide throw distribution: 70' (3' path of egress) at a 7.5' mounting height with 1 FC Average.

4,000K correlated color temperature (CCT).

70 CRI.

ELECTRICAL — UVOLT (120 thru 347V, 50/60hz). Current-limiting charger maximizes battery life and minimizes energy consumption to provide low operating costs. Small battery chargers Certified in the CA Title 20 Appliance Efficiency Database

Short-circuit protection — current-limiting charger circuitry protects printed circuit board from shorts. Regulated charge voltage maintains a stable charge voltage over a wide range of line voltages.

Prevents over/undercharging that shortens battery life and reduces capacity. Filtered charger input minimizes charge voltage ripple and extends battery life.

Photocell option (PEL) for normally on product in order to discontinue illumination during periods when ambient light is present.

Remote units (OELR) are normally off. Emergency only functionality with DC power from an external battery.

BATTERY: Sealed, maintenance-free Lithium Iron Phosphate battery.

SELF-DIAGNOSTICS AND REMOTE TEST (SDRT OPTION): Automatic 24-hour recharge after a 90-minute discharge. Advanced electrical design provides constant light output throughout the entire discharge period for non-CW batteries. (For cold weather and cold temperature applications, the light may diminish though the discharge cycle). Brownout protection is automatically switched to emergency mode when supply voltage drops below approximately 80 percent nominal of 120, 220, 277 or 347. Other input voltages may vary. AC/LVD re-set allows battery connection before AC power is applied and prevents battery damage from deep discharge.

Self-Diagnostics: Continuously monitors AC functionality. Standard derangement monitoring will indicate disconnected battery, charger failure and displays green flashing indicator light while in emergency mode. Single multi-chromatic LED indicator to display two-state charging, test activation and three-state self-diagnostics.

Self-diagnostic testing: Five minutes every 30 days and 90 minutes annually. Diagnostic evaluation of lamps, AC to DC transfer, battery charging and condition of microprocessor. Automatic test is easily postponed for eight hours by activating manual test switch or use of remote tester (RTKIT accessory).

Manual testing: Test switch and remote tester (RTKIT accessory) provides manual activation of 60-second diagnostic testing for on-demand visual inspection. 90 minute manual testing can be enabled by pressing the test switch again while in test mode.

INSTALLATION — Wall mount: typically meets 7.5' to 14' mounting height from ground or floor. Power supplied by either mounting directly to a 4" square or 4" octagon j-box (wall mount) and accepts rigid or flex conduit.

LISTINGS — UL wet location listed standard at 32-122°F (0-50°C). Unit with CW battery (cold weather) listed for -22°F to 122°F (-30° to 50°C). Remote listed for -40°F to 122°F (-40° to 50°C). Meets or exceeds all applicable requirements for UL 924, NFPA 101 (current Life Safety code), NFPA 70 (NEC), NOM (Norma Oficial Mexicana), California Energy Commission Title 20 section 1605.3 (W)(4), FCC Title 47, Part 15, Subpart B and OSHA. List and labeled to comply with Canadian Standards C22.2 No. 141-10.

WARRANTY — 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

† Small Battery Chargers Certified in the CA Title 20 Appliance Efficiency Database.

Catalog Number
Notes
Type

AFFINITY®

Premium Die-Cast Architectural Emergency Light

AFF



without photocell (white)



without photocell (natural aluminum)



with photocell (white)



with photocell (dark bronze)

MOUNTING

All dimensions are inches (centimeters).

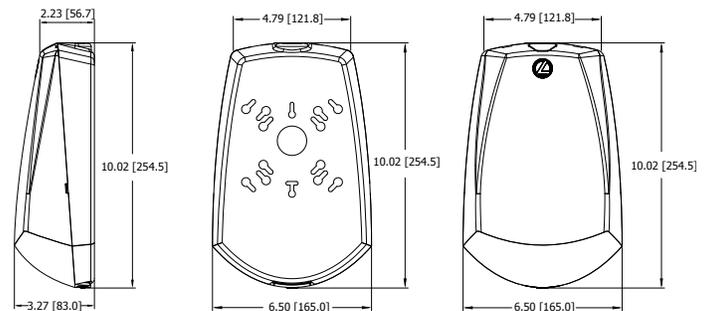
Shipping weight: 3.5 lbs. (1.59 kgs.)

Length: 6 1/2 (16.51)

Depth: 3 27/100 (8.30)

Height: 10 (25.45)

Weight: 3.5 lbs (1.59kg)





1 BIRD'S EYE VIEW - 1
SCALE:



2 BIRD'S EYE VIEW - 2
SCALE:



3 BUILDING ENTRY PERSPECTIVE
SCALE:



4 PERSPECTIVE FROM PARKING LOT
SCALE:



5 REAR BLDG PERSPECTIVE
SCALE:



6 REAR BLDG PERSPECTIVE - MINUS FENCING FOR CLARITY
SCALE:



7 DOG HOUSING PERSPECTIVE - MINUS FENCING FOR CLARITY
SCALE:



8 ENRICHMENT BLDG
SCALE:

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**THE ANIMAL CARE SHELTER
FOR KENT COUNTY**
THE ANIMAL CARE SHELTER FOR KENT COUNTY
25546 MARY MORRIS ROAD, CHESTERTOWN, MD

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REVISIONS

APPROVALS

SEAL

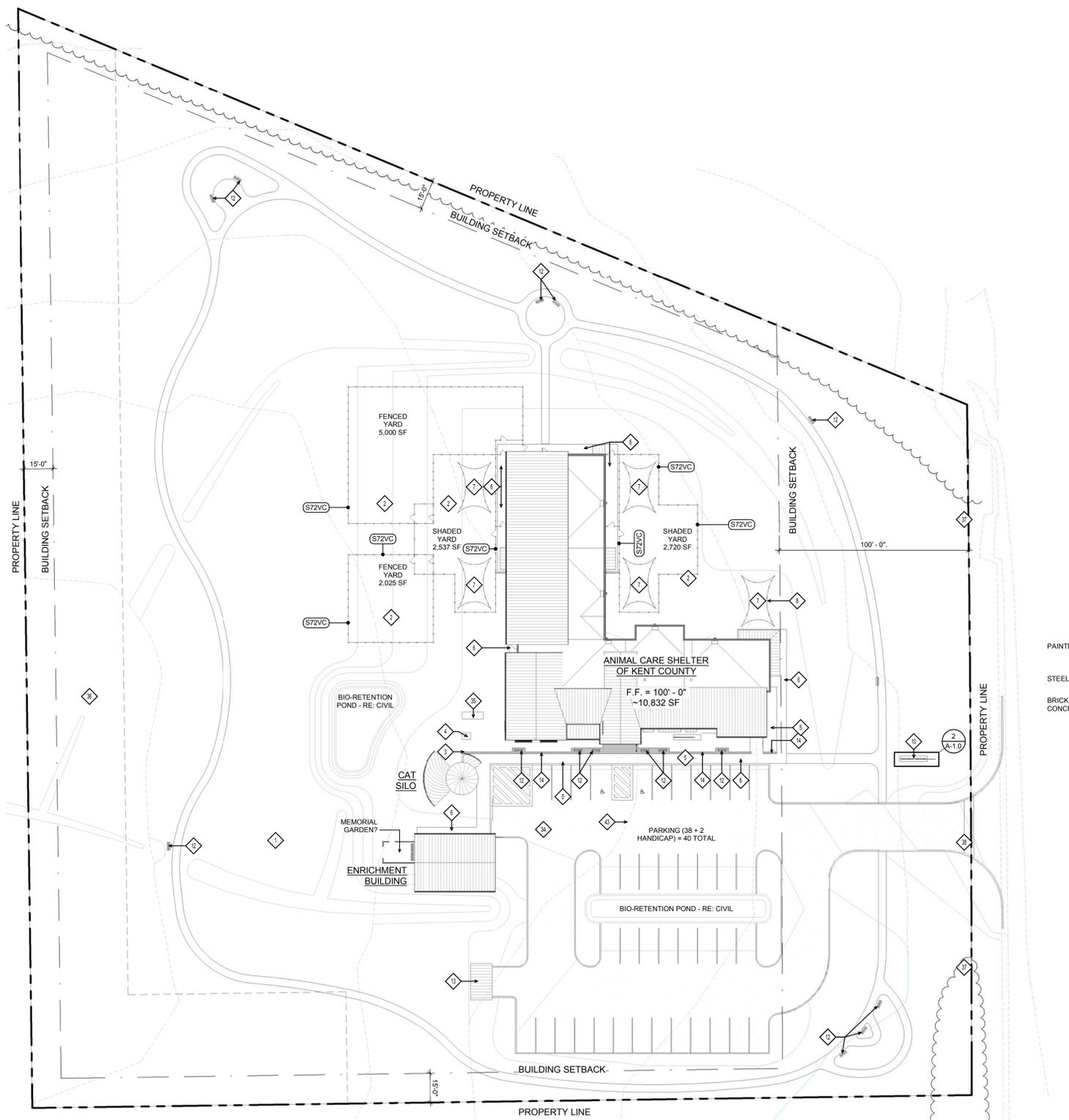
DRAWING TITLE
SITE 3D VIEWS

DATE: 02/28/20

A-1.3

50% CONSTRUCTION DOCUMENTS SET

C:\Users\Greg\Documents\190804_Animal Care Shelter_Kent County_grap\AA.rvt
4/23/2020 9:54:33 PM



1 SITE PLAN
SCALE: 1/32" = 1'-0"

GENERAL NOTES

- RE: CIVIL AND LANDSCAPING PLANS FOR ADDITIONAL INFORMATION.
- EXISTING SITE LANDSCAPING, PARKING AREA, PARKING STRIPING, BUILDING ENVELOPE TO REMAIN AS-IS UNLESS OTHERWISE NOTED.

LEGEND

SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - -	EASEMENT / RIGHT OF WAY
---	BUILDING SETBACK
X-X-X	FENCE, RE: X/A-1.1

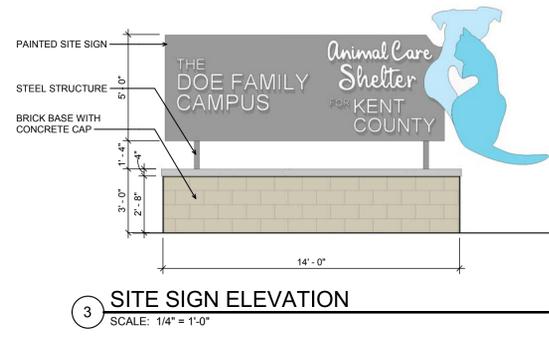
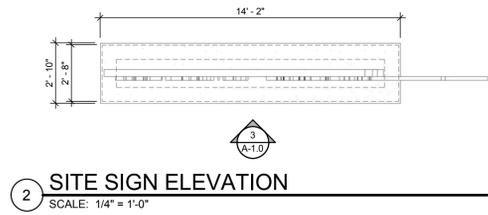
FENCING TYPES



- FENCING TYPE**
- S: CHAINLINK, RE: SPEC. AND 182/A-1.20
 - D: ORNAMENTAL METAL FENCING, RE: SPEC. AND 3/A-1.20
 - P: PRIVACY PANEL
- SPECIAL CONDITIONS**
- V: VINYL COATED
 - C: ANIMAL INTRUSION PREVENTION ROLLERS, RE: SPEC., TYP.

KEYNOTES

SYMBOL	DESCRIPTION
1	FIELD GRASS
2	K-9 ARTIFICIAL GRASS OVER DRAINAGE COURSES, RE: CIVIL
3	ELECTRICAL TRANSFORMER, RE: ELECTRICAL
4	ELECTRICAL SWITCHGEAR, RE: ELECTRICAL
5	LANDSCAPE PLANTING, RE: LANDSCAPE
6	CONCRETE SIDEWALK, RE: CIVIL
7	TENSION FABRIC SHADE STRUCTURE W/ PAINTED STEEL POSTS
8	OUTDOOR STAFF BREAK AREA W. PICNIC TABLE
10	SIGNAGE, RE: CIVIL
12	SLAT METAL BENCH W. DONOR PLAQUE
13	CONCRETE DUMPSTER PAD, CMU ENCLOSURE & METAL ROOF, RE: CIVIL
14	DONOR BRICK PAVERS
34	PARKING LOT PAVEMENT, RE: CIVIL
35	BACKUP GENERATOR, RE: ELEC
36	AFORESTATION AREA, RE: CIVIL
37	CUT BACK EXISTING ROAD HEDGE, RE: CIVIL
38	NEW ROAD CUT, RE: CIVIL
43	100' - 0" SLAB ELEVATION TO ADJACENT GRADE ELEVATION



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APPROVALS

SEAL

DRAWING TITLE
SITE PLAN

DATE: 02/28/20

A-1.0

50% CONSTRUCTION DOCUMENTS SET

GENERAL NOTES

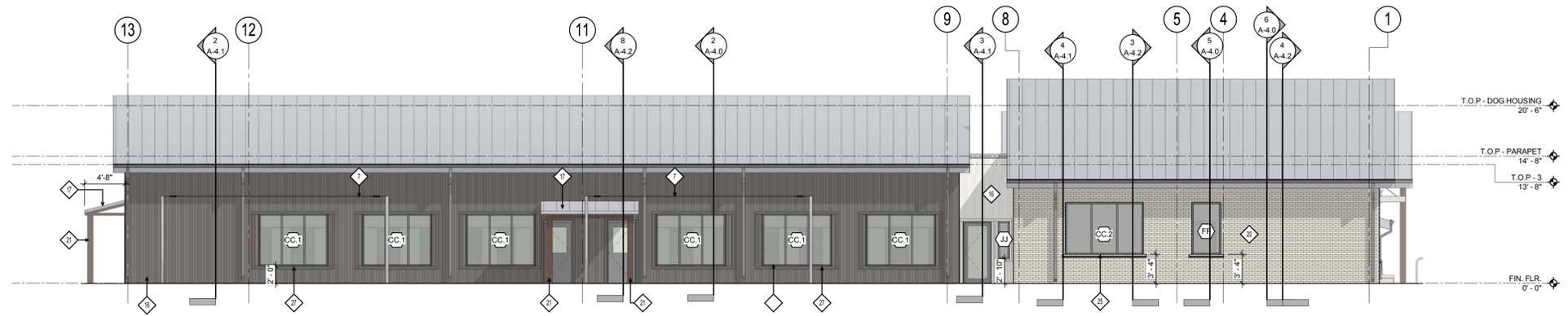
- RE: WINDOW AND DOOR SCHEDULE FOR FRAME TYPES AND DETAILS.

KEYNOTES

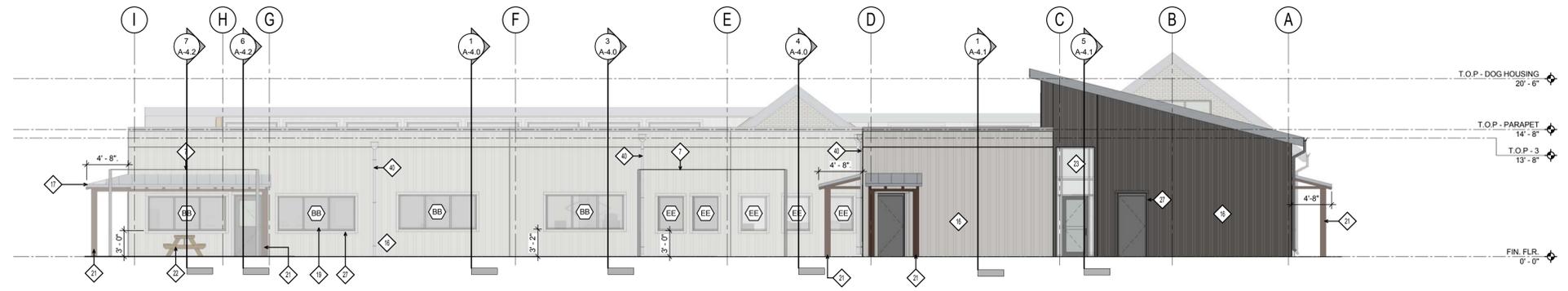
SYMBOL	DESCRIPTION
7	TENSION FABRIC SHADE STRUCTURE W/ PAINTED STEEL POSTS
15	STANDING SEAM METAL ROOF
16	FIBER CEMENT BOARD AND BATTEN SIDING
17	EXTERIOR CANOPY / AWNING
19	ALUMINUM FRAMED WINDOW - TYP.
20	BRICK MASONRY
21	HEAVY TIMBER FRAMING - DARK MAHOGANY STAIN
22	STAFF PICNIC TABLE
23	ALUMINUM FRAMED STOREFRONT
25	PRECAST WINDOW SILL - TYP.
26	PAINTED WELDED WIRE CATIO SCREEN - SEE SPEC.
27	FIBER CEMENT TRIM BOARD - TYP.
32	PAINTED GALVANIZED STEEL LOUVER CANOPY
33	BIKE RACK
40	PREFINISHED METAL SCUPPER HEAD & LEADER

WORK NOTES

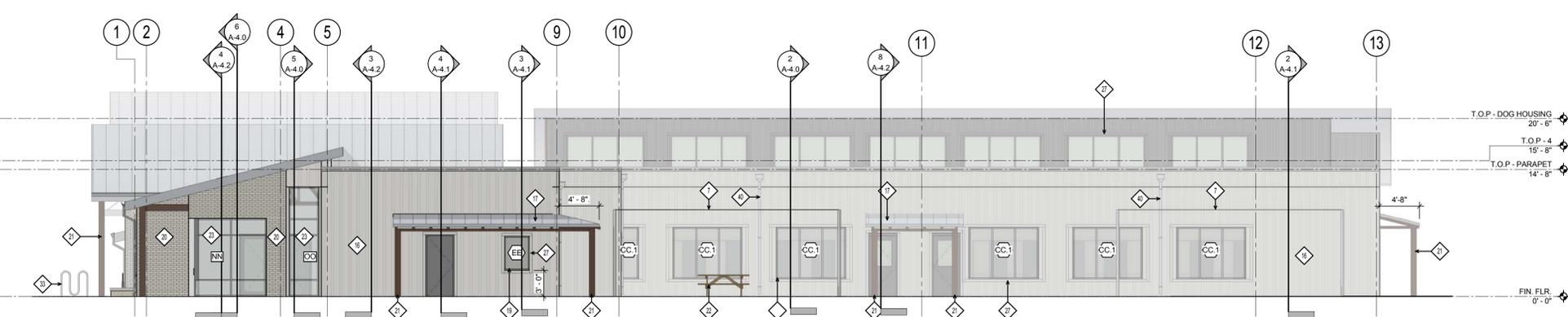
SYMBOL	DESCRIPTION



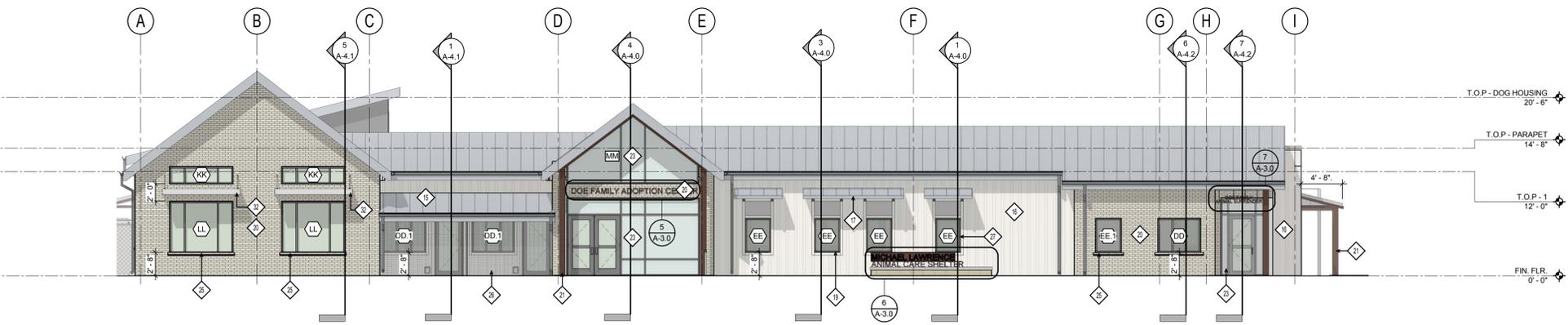
4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



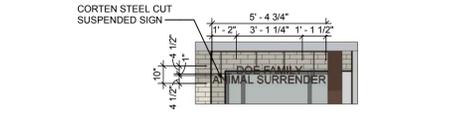
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



5 MAIN ENTRANCE SIGNAGE
SCALE: 1/4" = 1'-0"



6 MAIN BLDG SIGNAGE
SCALE: 1/4" = 1'-0"



7 SIDE ENTRANCE SIGNAGE
SCALE: 1/4" = 1'-0"

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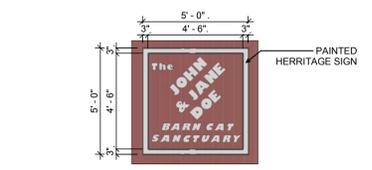
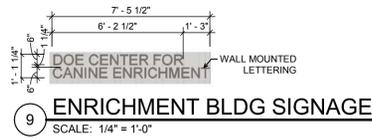
SEAL

DRAWING TITLE
EXTERIOR ELEVATIONS

DATE: 02/28/20

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9 ENRICHMENT BLDG SIGNAGE
SCALE: 1/4" = 1'-0"

10 CAT SILO SIGNAGE
SCALE: 1/4" = 1'-0"

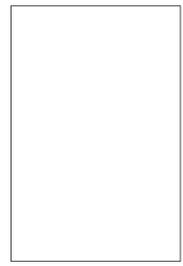
GENERAL NOTES

- RE: WINDOW AND DOOR SCHEDULE FOR FRAME TYPES AND DETAILS.

KEYNOTES

SYMBOL	DESCRIPTION
16	FIBER CEMENT BOARD AND BATTEN SIDING
17	EXTERIOR CANOPY / AWNING
19	ALUMINUM FRAMED WINDOW - TYP.
21	HEAVY TIMBER FRAMING - DARK MAHOGANY STAIN
26	PAINTED WELDED WIRE CATIO SCREEN - SEE SPEC.
27	FIBER CEMENT TRIM BOARD - TYP.
28	PREFINISHED STANDING SEAM METAL ROOF
29	PREFINISHED METAL SIDING
30	CMU W/ PRECAST SILL

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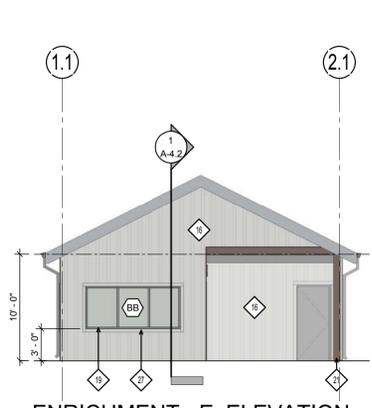
APPROVALS

SEAL

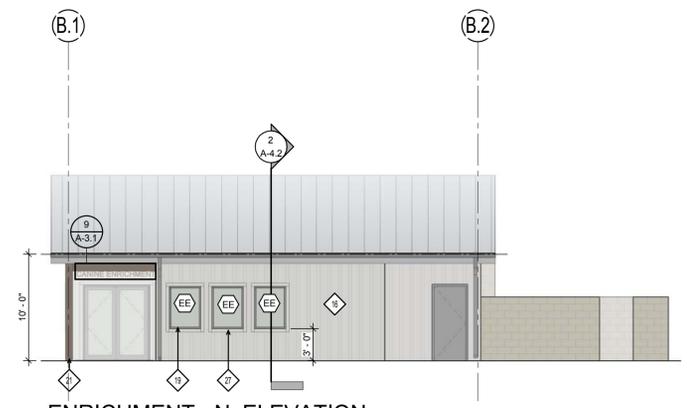
DRAWING TITLE
EXTERIOR ELEVATIONS

DATE: 02/28/20

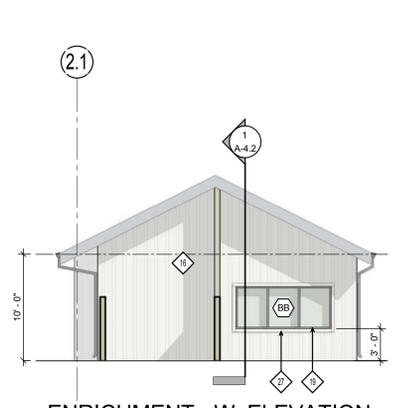
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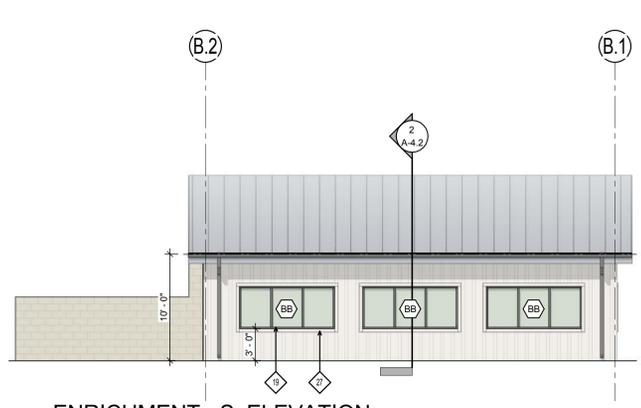
8 ENRICHMENT - E. ELEVATION
SCALE: 1/8" = 1'-0"



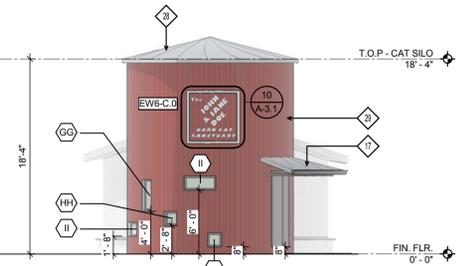
7 ENRICHMENT - N. ELEVATION
SCALE: 1/8" = 1'-0"



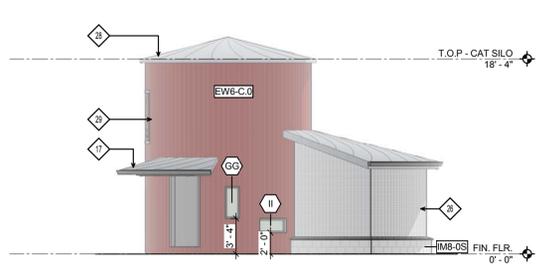
6 ENRICHMENT - W. ELEVATION
SCALE: 1/8" = 1'-0"



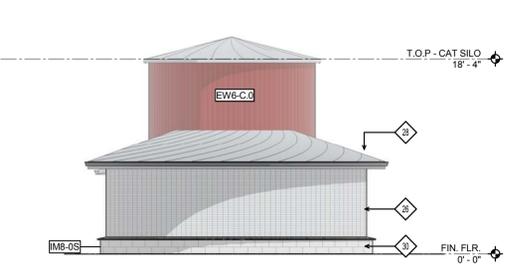
5 ENRICHMENT - S. ELEVATION
SCALE: 1/8" = 1'-0"



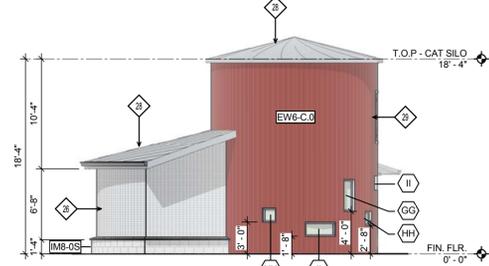
4 CAT SILO - E. ELEVATION
SCALE: 1/8" = 1'-0"



3 CAT SILO - N. ELEVATION
SCALE: 1/8" = 1'-0"



2 CAT SILO - W. ELEVATION
SCALE: 1/8" = 1'-0"



1 CAT SILO - S. ELEVATION
SCALE: 1/8" = 1'-0"

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