



County Commissioners Hearing Room
400 High Street
Chestertown, Maryland

AGENDA
April 4, 2024
1:30 p.m.

Members of the public are welcome to attend meetings in person or via conference call.

Public participation and audio-only call-in number:

- 1. Dial 1-872-239-8359
2. Enter Conference ID: 143 609 208#

Members of the public are asked to mute their phones/devices, until the Commission Chair opens the floor for comment.

Members of the public may also watch the live video feed and view the video after the meeting at the County's YouTube channel at https://www.youtube.com/@kentcountygovernment2757.

MINUTES

March 7, 2024

APPLICATIONS FOR REVIEW

Ag Preservation District Applications Rec to BOCC

Table with 3 columns: ALP Number, Name, Location. Rows include BGM Farms, LLC; E & D Land Holdings, LLC; Bloomfield Ventures, LLC; and Harmony Woods Farm, LLC.

- 24-12 Delmarva Power and Light Co. of MD - Site Plan Review (Concept) PC Review
23-67 Brickyard Land Holdings/Gillespie Precast - Office Addition - Major Site Plan (Prelim. & Final) PC Decision
24-14 ESSD-M, Inc./Camp Fairlee - Sensory Cabins - Major Site Plan (Concept) PC Review
23-68 KNR - Convenience Store/Deli - Major Site Plan (Concept) PC Review

GENERAL DISCUSSION

Map Change Requests process for review by Planning Commission

STAFF REPORTS

ADJOURN

Meetings are conducted in Open Session unless otherwise indicated. All or part of the Planning Commission meetings can be held in closed session under the authority of the MD Open Meetings Law by vote of the members.

All applicants will be given the time necessary to assure full public participation and a fair and complete review of all projects. Agenda items are subject to change due to cancellations.





**DRAFT**

**Planning Commission**  
**Department of Planning, Housing, and Zoning**

**MINUTES**

March 7, 2024

1:30 p.m.

*Video recordings of the Kent County Planning Commission meeting are available online for viewing on the County's YouTube channel at <https://www.youtube.com/@kentcountygovernment2757>.*

The Kent County Planning Commission met in regular session on Tuesday, March 7, 2024, in the County Commissioners' Hearing Room at 400 High Street, Chestertown, Maryland. Members of the public were invited to attend in person or via conference call.

The following members were in attendance: Chair F. Joseph Hickman, James Saunders, Ray Strong, Sean Jones, Paula Reeder, and William Crowding. Vice Chair Paul Ruge was away. Cynthia L. McCann, Esquire, Planning Commission Attorney was present. Staff in attendance included William Mackey, AICP, Director; Carla Gerber, AICP, Deputy Director; Mark Carper, Associate Planner; and Rob Tracy, AICP, Associate Planner.

Chair Hickman called the meeting to order at 1:30 p.m.

**MINUTES**

Ms. Reeder moved to approve the minutes from the February 1, 2024, meeting with several minor corrections. Mr. Jones seconded the motion, and the motion passed unanimously.

**APPLICATIONS FOR REVIEW**

24-7 Jill Gaumer and Lynn Winkler – Variance – Pier Length  
24251 Drayton Landing Drive, Worton – Third Election District – Critical Area Residential (CAR)

Mr. Carper presented the staff report, explaining that the applicants were requesting a variance to install a 10 by 14-foot platform at the end of an existing nonconforming pier that extends 230 feet from the mean high-water line. The applicants received authorization from the Maryland Department of the Environment (MDE) for the platform. However, under the County's Land Use Ordinance, a pier is not allowed to extend more than 150 feet, so a variance is required.

Lori Sample of Riptide Marine Construction, the project contractor, and the applicants were sworn in. Ms. Sample stated that the existing pier was unsafe and in need of repair. They repaired the pier last year and are now seeking the variance to construct the platform to provide sufficient depth, edge, and maneuverability to dock the applicants' sailboat.

Ms. Reeder made a motion to send a favorable recommendation to the Board of Appeals, citing the following findings:

- The variance is not inconsistent with the Comprehensive Plan or Critical Area Program.
- The applicants face practical difficulty due to the limited water depth at the end of the pier, making it challenging to dock their sailboat.
- The proposed platform is consistent with the surrounding area, as other property owners have created platforms on their properties, and the platform does not extend beyond the length of the existing pier.

Adopted on [Insert date]

# DRAFT

- The need for the variance was not caused by the applicants' own actions.
- Mr. Saunders seconded the motion. The motion passed unanimously.

## GENERAL DISCUSSION

### Map Change Requests

Mr. Mackey and Ms. Gerber led a discussion on the process for reviewing property owner map change requests submitted as part of the comprehensive rezoning. The Commission agreed to hold a special meeting to review all the applications on the evening of April 11. Staff will prepare maps and notify applicants. Property owners who indicated they do not want a change will also receive email noting that no change will be made to their zoning.

### MDOT Priority Letter

Mr. Mackey presented the draft 2024 MDOT Priority Letter, which is largely the same as the previous year, listing projects like the Chester River Bridge Crossing.

Planning Commissioner Saunders raised the need for sidewalk improvements to connect Kent County High School with Butlertown. The Commissioners discussed the need to emphasize safety concerns for pedestrians and bikers.

Mr. Mackey will make some modifications and follow up with the municipalities before submitting the final letter.

## STAFF REPORTS

Mr. Mackey introduced Rob Tracy, AICP, who has rejoined the County's planning staff as an Associate Planner.

## ADJOURN

Mr. Saunders made a motion to adjourn the meeting. Ms. Reeder seconded the motion, and the meeting adjourned at approximately 3:15 p.m.

/s/ Francis J. Hickman  
Francis J. Hickman, Chair

/s/ Bill Mackey  
William Mackey, AICP, Director

*Please note that 95% of this document was created by Claude 3 from Anthropic utilizing a transcript created by Microsoft Teams. The DPHZ team then reviewed the document prior to its distribution to the Planning Commission.*



**To:** Kent County Planning Commission  
**From:** Rob Tracey, AICP, Associate Planner  
**Meeting:** April 4, 2024  
**Subject:** Agricultural Preservation Districts

## Executive Summary

### Proposed Ag Preservation Districts

#23-01 – BGM Farms, LLC, wishes to create an Agricultural Preservation District on its 276.5-acre farm located at 33824 Bradford Johnson Road near Golts in the First Election District. The farm consists of 102 acres of crop land and 162 acres of woodland. Approximately 74% of the soils are considered Class I, II, or III. There is one dwelling on the property. The farm is zoned Agricultural Zoning District (AZD) and is within the Priority Preservation Area. The farm is not adjacent to any districts and easements. It is outside the 10-year water and sewer plan service areas.

#23-02 – E & D Land Holdings, LLC, wishes to create an Agricultural Preservation District on its 117-acre farm located at 29243 River Road near Millington in the Second Election District. The farm consists of 55 acres of crop land, 28.3 acres enrolled in a forestry program/other, and 32.2 acres of woodland. Approximately 83.3% of the soils are considered Class I, II, or III. There is one dwelling on the property. The farm is split zoned Agricultural Zoning District (AZD) and Resource Conservation District (RCD). The property is within the Priority Preservation Area and is adjacent to over 7,500 acres of easements that stretches from the Chester River to the Sassafras River. It is outside the 10-year water and sewer plan service areas.

#23-03A – Bloomfield Ventures, LLC, wishes to create an Agricultural Preservation District on its 270-acre farm located at 11791 Blacks Station Rd near Kennedyville in the Second Election District. The farm consists of 265 acres of crop land. Approximately 99% of the soils are considered Class I, II, or III. There is one dwelling on the property. The farm is zoned Agricultural Zoning District (AZD) and is within the Priority Preservation Area. It is adjacent to over 7,500 acres of easements that stretches from the Chester River to the Sassafras River. It is outside the 10-year water and sewer plan service areas.

#23-03B – Bloomfield Ventures, LLC, wishes to create an Agricultural Preservation District on its 270-acre farm located at 11720 Locust Grove Rd near Kennedyville in the Second Election District. The farm consists of 269 acres of crop land. Approximately 98% of the soils are considered Class I, II, or III. There is one dwelling on the property. The farm is zoned Agricultural Zoning District (AZD) and is within the Priority Preservation Area. It is adjacent to over 7,500 acres of easements that stretches from the Chester River to the Sassafras River. It is outside the 10-year water and sewer plan service areas.

#23-04 – Harmony Woods Farm, LLC, wishes to create an Agricultural Preservation District on its 200.14-acre farm located at 12655 Augustine Herman Highway near Kennedyville in the Second Election District. The farm consists of 161.4 acres of crop land, 24.5 acres of woodlands, and 14.5 acres of other land (ponds). Approximately 94% of the soils are considered Class I, II, or III. There is one dwelling on the property. The farm is zoned Agricultural Zoning District (AZD) and is within the Priority Preservation Area.

It is adjacent to over 7,500 acres of easements that stretches from the Chester River to the Sassafras River. It is outside the 10-year water and sewer plan service areas.

## Relevant Issues

### Agricultural Preservation District - Criteria

- A. Comprehensive Plan: "Large contiguous areas of prime agricultural land are critical to an expanding and prosperous agricultural industry. The preservation of such areas reduces the potential for conflicts between farmers and their non-farm neighbors, allows the diversification of agricultural operations and reduces the need for regulations governing the nuisances sometimes associated with agribusiness."  
(p. 45)
- B. Applicable Laws: Code of Public Laws of Kent County in Chapter 171-5. Agricultural Preservation Districts, which sets forth the process and criteria for establishment of districts.
- The Agricultural Preservation Advisory Board and the Planning Commission shall advise the County Commissioners as to whether the establishment of the district meets the criteria of the Agricultural Article, Title 2, Subtitle 5, of the Annotated Code of Maryland and is compatible with existing County plans and overall County policy.
  - The application shall be consistent with the criteria to sell an easement to the Maryland Agricultural Land Preservation Foundation (MALPF) established in the Agricultural Article, Title 2, Subtitle 5, of the Annotated Code of Maryland and Maryland Regulations 15.15.01.
    - a. The minimum size is 50 acres, unless the property is contiguous to an existing Agricultural Land Preservation District or Easement property.
    - b. At least 50% of the land consists of Soil Capability Classes I, II, or III or Woodland Groups 1 or 2.
    - c. Generally, the land lies outside the 10-year water and sewer service area.
    - d. The property consists of land which is either used primarily for the production of food or fiber or is of such open space character and productive capability that continued agricultural production is feasible.
    - e. In its consideration, MALPF is to evaluate the land for location in a priority preservation area of the county (§2-509(d)(6)).
    - f. The land must have development potential.
- C. Staff Comments: The proposed districts comply with MALPF criteria for applying to sell an easement. Therefore, the properties meet or exceed the criteria for creating an Agricultural Land Preservation District and comply with the goal of the Comprehensive Plan to preserve large blocks of contiguous prime agricultural land.

### Staff Recommendation

The Agricultural Preservation Advisory Board has reviewed these applications and recommends approval of the districts. Staff recommends forwarding a favorable recommendation to the County Commissioners for the establishment of an Agricultural Preservation District on these five farms.

**PROPOSED AGRICULTURAL LAND PRESERVATION DISTRICT  
STAFF REPORT SUMMARY**

**FILE #:** APD – 23-01  
**LANDOWNER(S):** BGM Farms LLC  
**LOCATION:** 33824 Bradford Johnson Rd, Golts  
**TAX MAP, PARCEL #:** Map 09, Parcel 28

**SIZE:** 276.5

**RELATIONSHIP TO OTHER PRESERVED LAND** This property is not adjacent to any districts or easements.

|                        |                 |                |                 |                |              |
|------------------------|-----------------|----------------|-----------------|----------------|--------------|
| <b>TOTAL LAND USE:</b> | <u>CROPLAND</u> | <u>PASTURE</u> | <u>WOODLAND</u> | <u>WETLAND</u> | <u>OTHER</u> |
| ACRES                  | 102.5           | 0              | 162             | 0              | 11           |

\*Other Acres are ponds.

**DWELLINGS:** 1 dwelling

**GENERAL FARMING OPERATION:** Grain Farm

**PART OF LARGER OPERATION:** No

**OWNER OPERATED:** Yes

|                                |                |                 |                  |                |
|--------------------------------|----------------|-----------------|------------------|----------------|
| <b>TOTAL QUALIFYING SOILS:</b> | <u>CLASS I</u> | <u>CLASS II</u> | <u>CLASS III</u> | <u>= TOTAL</u> |
| ACRES:                         | 0              | 151.4           | 49.7             | 201.1          |
| PERCENT:                       | 0              | 56%             | 18%              | 74%            |

**COUNTY ZONING/DENSITY:** Agricultural Zoning District (AZD), base density 1:30.

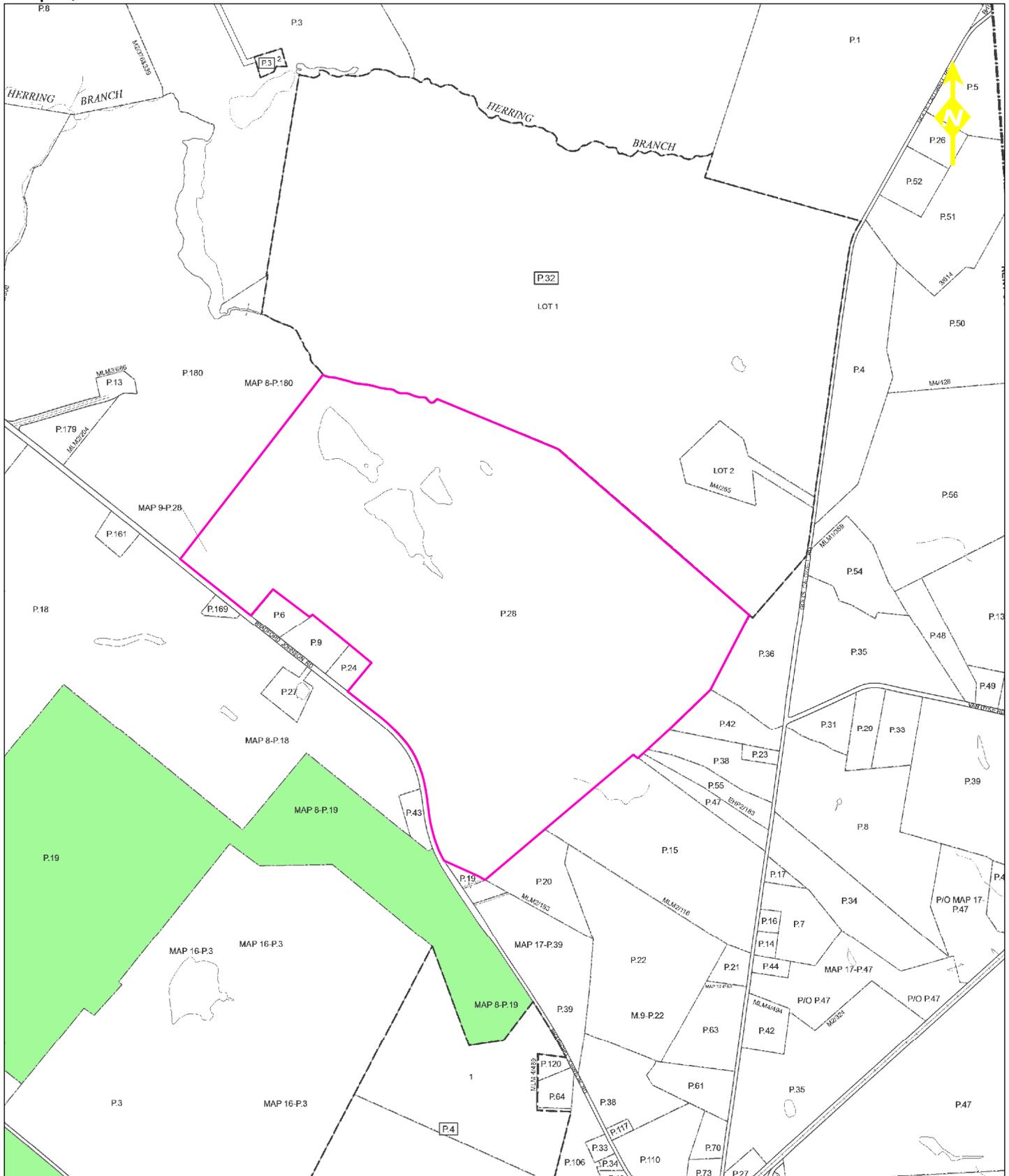
**DEVELOPMENT PRESSURE:** Moderate

**ACREAGE WITHHELD:** No

**OTHER INFORMATION:** Farm is located within the Priority Preservation Area. A Water and Soil Conservation Plan and a nutrient management plan have been submitted.

**RECOMMENDATION:** Staff recommends approval.

BGM Farms, LLC  
33824 Bradford Johnson Road  
Map 9, Parcel 28



Source: Kent County Department of Planning, Housing, and Zoning.  
Aerial taken Spring 2022. Map prepared December 2023.

1 inch = 1,200 feet

**PROPOSED AGRICULTURAL LAND PRESERVATION DISTRICT  
STAFF REPORT SUMMARY**

**FILE #:** APD – 23-02  
**LANDOWNER(S):** E&D Land Holdings, LLC

**LOCATION:** 29243 River Rd  
**TAX MAP, PARCEL #:** Map 30, Parcel 21

**SIZE:** 117 acres

**RELATIONSHIP TO OTHER PRESERVED LAND** This property is adjacent to over 129 acres of districts and easements.

|                        |                 |                |                 |                |              |
|------------------------|-----------------|----------------|-----------------|----------------|--------------|
| <b>TOTAL LAND USE:</b> | <u>CROPLAND</u> | <u>PASTURE</u> | <u>WOODLAND</u> | <u>WETLAND</u> | <u>OTHER</u> |
| ACRES                  | 55.5            | 0              | 32.2            | 0              | 28.3         |

\*Other area is a Forestry program.

**DWELLINGS:** 1 dwelling

**GENERAL FARMING OPERATION:** Row and cover crops

**PART OF LARGER OPERATION:** Yes

**OWNER OPERATED:** Yes

|                                |                |                 |                  |                |
|--------------------------------|----------------|-----------------|------------------|----------------|
| <b>TOTAL QUALIFYING SOILS:</b> | <u>CLASS I</u> | <u>CLASS II</u> | <u>CLASS III</u> | <u>= TOTAL</u> |
| ACRES:                         | 23.5           | 32.0            | 27.8             | 83.3           |
| PERCENT:                       | 20%            | 28%             | 24%              | 72%            |

**COUNTY ZONING/DENSITY:** The property is split zoned, Agricultural Zoning District (AZD) and Resource Conservation District (RCD). The AZD has a base density of 1:30. The RCD has a base density of 1:20.

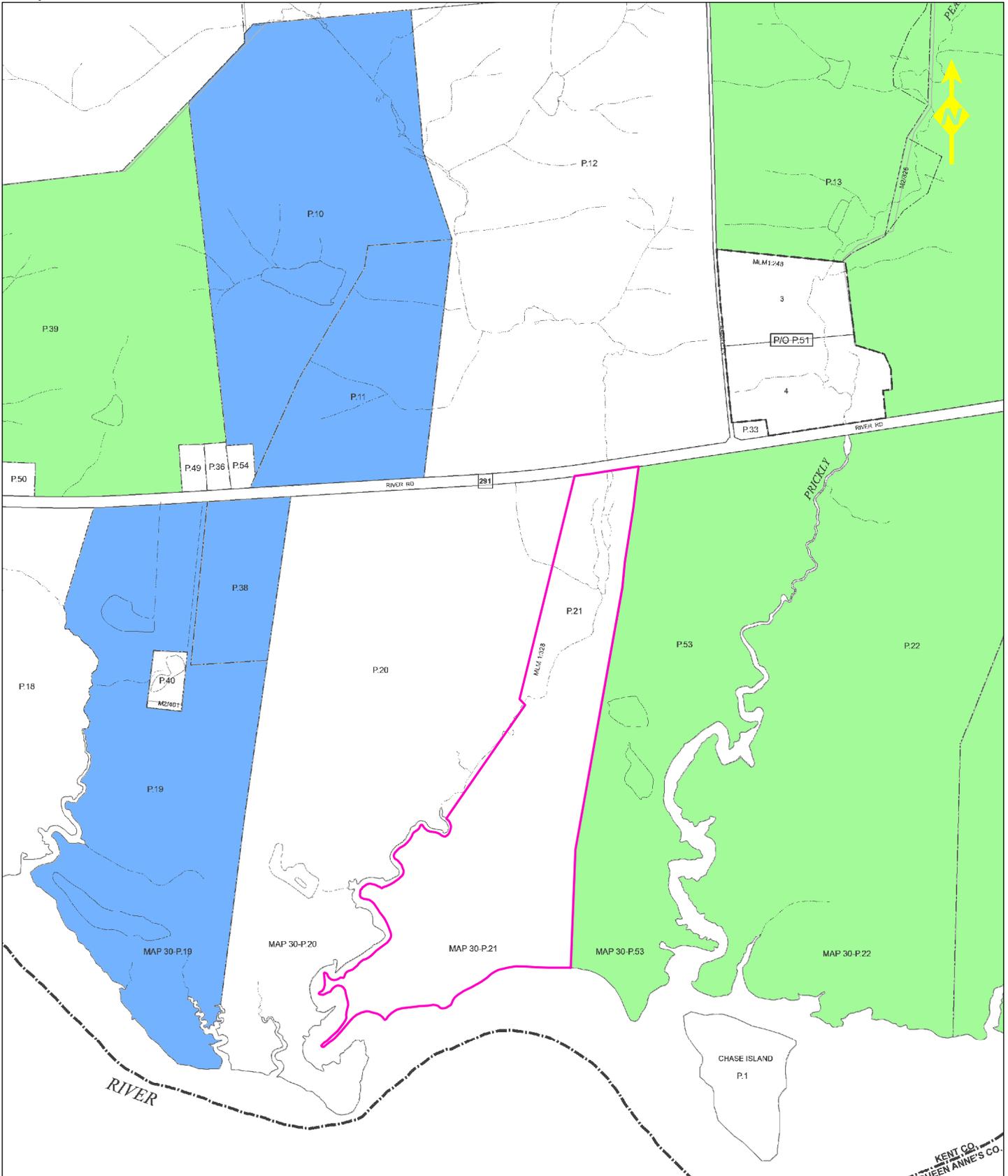
**DEVELOPMENT PRESSURE:** Moderate

**ACREAGE WITHHELD:** No

**OTHER INFORMATION:** Farm is located within the Priority Preservation Area. A Water and Soil Conservation Plan and a nutrient management plan have been submitted.

**RECOMMENDATION:** Staff recommends approval.

E & D Land Holdings, LLC  
29243 River Road  
Map 30, Parcel 21



Source: Kent County Department of Planning, Housing, and Zoning.  
Aerial taken Spring 2022. Map prepared December 2023.

1 inch = 1,200 feet

**PROPOSED AGRICULTURAL LAND PRESERVATION DISTRICT  
STAFF REPORT SUMMARY**

**FILE #:** APD – 23-03  
**LANDOWNER(S):** Bloomfield Ventures, LLC

**LOCATION:** 11791 Blacks Station Rd, Kennedyville  
**TAX MAP, PARCEL #:** Map 22, Parcel 40

**SIZE:** 270 acres

**RELATIONSHIP TO OTHER PRESERVED LAND** This property is adjacent to over 1,476 acres of districts and easements.

|                        |                 |                |                 |                |              |
|------------------------|-----------------|----------------|-----------------|----------------|--------------|
| <b>TOTAL LAND USE:</b> | <u>CROPLAND</u> | <u>PASTURE</u> | <u>WOODLAND</u> | <u>WETLAND</u> | <u>OTHER</u> |
| ACRES                  | 265             | 0              | 0               | 0              | 5            |

**DWELLINGS:** 1 dwelling

**GENERAL FARMING OPERATION:** Grain Farm

**PART OF LARGER OPERATION:** No

**OWNER OPERATED:** Yes

|                                |                |                 |                  |                |
|--------------------------------|----------------|-----------------|------------------|----------------|
| <b>TOTAL QUALIFYING SOILS:</b> | <u>CLASS I</u> | <u>CLASS II</u> | <u>CLASS III</u> | <u>= TOTAL</u> |
| ACRES:                         | 64.6           | 182.88          | 16.6             | 264.11         |
| PERCENT:                       | 24.0           | 69.0            | 6.0              | 99.0           |

**COUNTY ZONING/DENSITY:** Agricultural Zoning District (AZD), base density 1:30.

**DEVELOPMENT PRESSURE:** Moderate

**ACREAGE WITHHELD:** No

**OTHER INFORMATION:** Farm is located within the Priority Preservation Area. A Water and Soil Conservation Plan and a nutrient management plan have been submitted.  
**RECOMMENDATION:** Staff recommends approval.

**PROPOSED AGRICULTURAL LAND PRESERVATION DISTRICT  
STAFF REPORT SUMMARY**

**FILE #:** APD – 23-03  
**LANDOWNER(S):** Bloomfield Ventures, LLC

**LOCATION:** 11720 Locust Grove Rd, Kennedyville  
**TAX MAP, PARCEL #:** Map 22, Parcel 54

**SIZE:** 270

**RELATIONSHIP TO OTHER PRESERVED LAND** This property is adjacent to over 1,476 acres of districts and easements.

|                        |                 |                |                 |                |              |
|------------------------|-----------------|----------------|-----------------|----------------|--------------|
| <b>TOTAL LAND USE:</b> | <u>CROPLAND</u> | <u>PASTURE</u> | <u>WOODLAND</u> | <u>WETLAND</u> | <u>OTHER</u> |
| ACRES                  | 269             | 0              | 0               | 0              | 0            |

**DWELLINGS:** 1 dwelling

**GENERAL FARMING OPERATION:** Grain Farm

**PART OF LARGER OPERATION:** No

**OWNER OPERATED:** Yes

|                                |                |                 |                  |                |
|--------------------------------|----------------|-----------------|------------------|----------------|
| <b>TOTAL QUALIFYING SOILS:</b> | <u>CLASS I</u> | <u>CLASS II</u> | <u>CLASS III</u> | <u>= TOTAL</u> |
| ACRES:                         | 121.5          | 142.4           | 6.3              | 270            |
| PERCENT:                       | 45.0           | 53.0            | 2.0              | 98.0           |

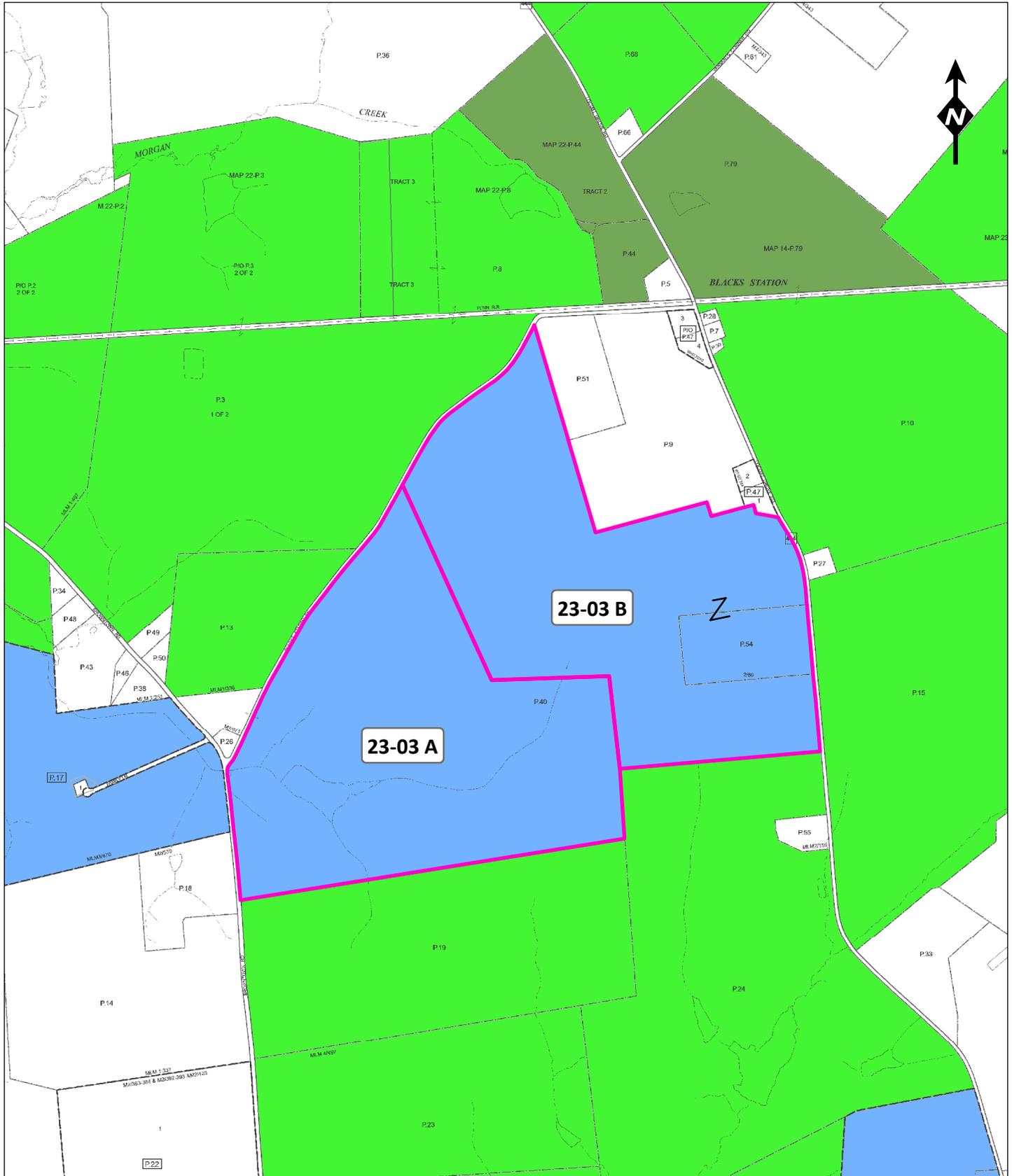
**COUNTY ZONING/DENSITY:** Agricultural Zoning District (AZD), base density 1:30.

**DEVELOPMENT PRESSURE:** Moderate

**ACREAGE WITHHELD:** No

**OTHER INFORMATION:** Farm is located within the Priority Preservation Area. A Water and Soil Conservation Plan and a nutrient management plan have been submitted.  
**RECOMMENDATION:** Staff recommends approval.

Bloomfield Ventures, LLC  
11791 Blacks Station Road  
11720 Locust Grove Road



Source: Kent County Department of Planning, Housing, and Zoning.  
Aerial taken Spring 2022. Map prepared March 2024.

1 inch = 1,500 feet

**PROPOSED AGRICULTURAL LAND PRESERVATION DISTRICT  
STAFF REPORT SUMMARY**

**FILE #:** APD - 23-04  
**LANDOWNER(S):** Jennifer Debnam

**LOCATION:** 12655 Augustine Herman Highway, Kennedyville  
**TAX MAP, PARCEL #:** Map 14, Parcel 35

**SIZE:** 200.14 acres

**RELATIONSHIP TO OTHER PRESERVED LAND** This property is adjacent to over 770 acres of districts and easements.

|                        |                 |                |                 |                |              |
|------------------------|-----------------|----------------|-----------------|----------------|--------------|
| <b>TOTAL LAND USE:</b> | <u>CROPLAND</u> | <u>PASTURE</u> | <u>WOODLAND</u> | <u>WETLAND</u> | <u>OTHER</u> |
| ACRES                  | 161.4           | 0              | 24.5            | 0              | 14.5         |

**DWELLINGS:** 1 dwelling

**GENERAL FARMING OPERATION:** Grain Farm

**PART OF LARGER OPERATION:** Yes

**OWNER OPERATED:** Yes

|                                |                |                 |                  |                |
|--------------------------------|----------------|-----------------|------------------|----------------|
| <b>TOTAL QUALIFYING SOILS:</b> | <u>CLASS I</u> | <u>CLASS II</u> | <u>CLASS III</u> | <u>= TOTAL</u> |
| ACRES:                         | 2.3            | 166.4           | 0.24             | 178.11         |
| PERCENT:                       | 1.0            | 93.0            | 0                | 94.0           |

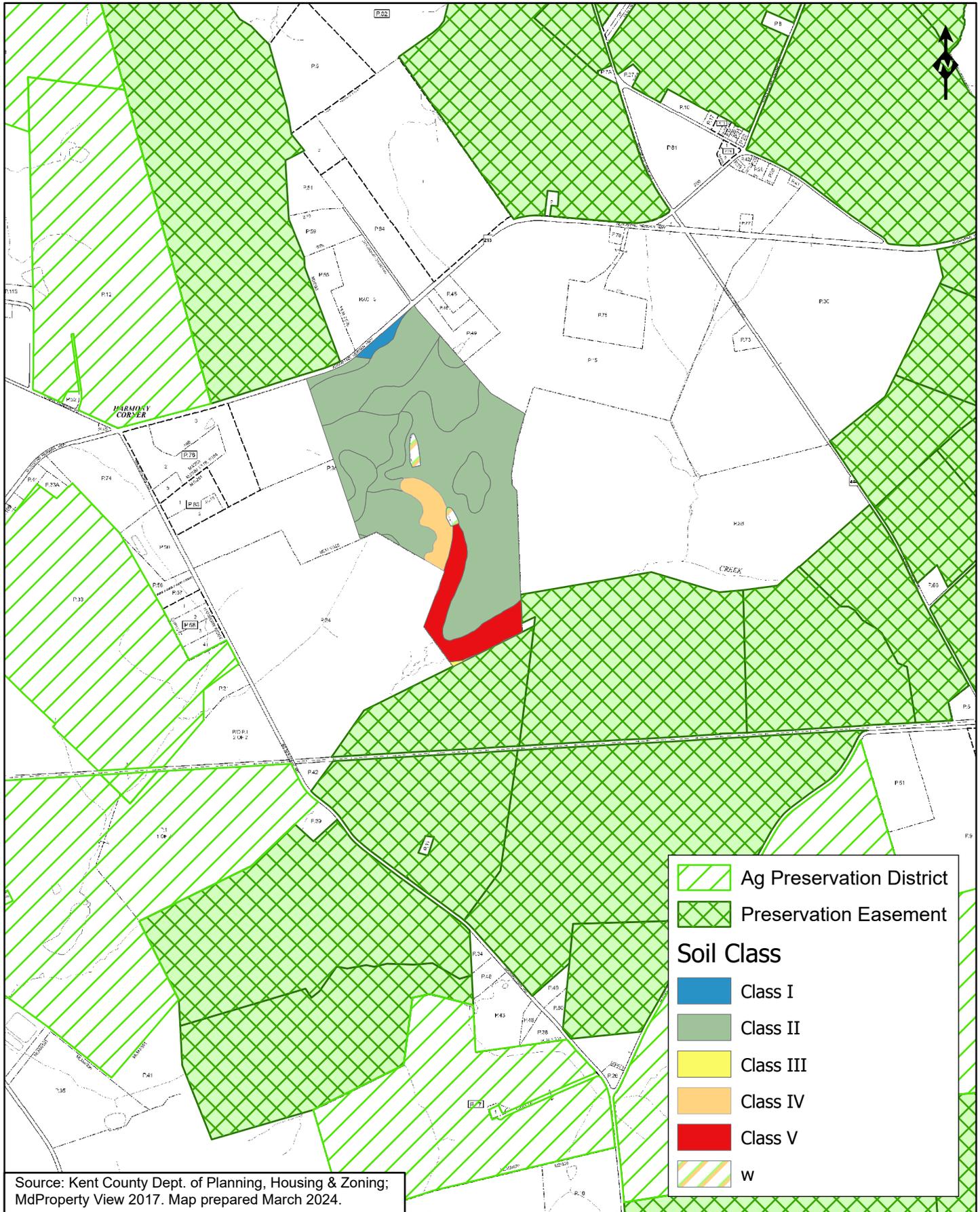
**COUNTY ZONING/DENSITY:** Agricultural Zoning District (AZD), base density 1:30.

**DEVELOPMENT PRESSURE:** Moderate

**ACREAGE WITHHELD:** No

**OTHER INFORMATION:** Farm is located within the Priority Preservation Area. The Soil and Water Conservation Plan was been submitted.

**RECOMMENDATION:** Staff recommends approval.





**To:** Kent County Planning Commission  
**From:** Rob Tracey, AICP, Associate Planner  
**Meeting:** April 4, 2024  
**Subject:** Delmarva Power and Light Co. of MD  
Concept Site Plan Review – Improvements to Existing Site

## Executive Summary

### REQUEST BY THE APPLICANT

Delmarva Power and Light Company of MD is requesting a concept site plan review for improvements to the existing substation in Chestertown. The proposed upgrades include rearranging electrical components/buildings, consolidating four driveways into two, replacing the existing chain link fence with a non-conductive/panel system fence, and modifying the existing landscaping, approved in 2021. The proposed site is located at 509 Morgnec Road in Chestertown in the Fourth Election District and is zoned Commercial (C).

### PUBLIC PROCESS

Per Article VI, Section 5.2 of the Kent County *Land Use Ordinance*, the Planning Commission shall review and approve major site plans.

### SUMMARY OF THE STAFF REPORT

The property is zoned Commercial (C), and it is improved by electrical equipment and a small control building. The surrounding area is a mix of industrial uses, such as Choptank Electric Cooperative, Gillespie Pre-Cast, small commercial businesses, agriculture, and residential land on the north side of Maryland Route 291. The property's north, south, east, and west sides are currently screened by existing vegetation and a six-foot chain link privacy fence.

### STAFF RECOMMENDATION

In order to receive preliminary site plan approval, the applicant must address and/or submit the following outstanding items:

- A landscape maintenance agreement and a landscape irrigation plan.

At this meeting, the Planning Commission should consider the following:

- The landscape buffer along the north property line to ensure proper screening and consistency with prior approvals.
- The Planning Commission should discuss and ascertain whether the proposed fencing harmonizes with the surrounding townscape and natural landscape.

## PRELIMINARY STAFF REPORT

TO: Kent County Planning Commission  
SUBJECT: Delmarva Power and Light Co. of MD  
Concept Site Plan Review – Improvements to Existing Site  
DATE: March 29, 2024

### DESCRIPTION OF PROPOSAL

Delmarva Power and Light Company of MD is requesting concept site plan review for improvements to the existing substation in Chestertown. The proposed upgrades include rearranging electrical components/buildings, consolidating four driveways into two, replacing the existing chain link fence with a non-conductive/panel system fence, and modifying the existing landscaping, approved in 2020. The proposed site is located at 509 Morgnec Road in Chestertown in the Fourth Election District and is zoned Commercial (C).

The property is zoned Commercial (C), and it is improved by electrical equipment and a small control building. The surrounding area is a mix of industrial uses, such as Choptank Electric Cooperative, Gillespie Pre-Cast, small commercial businesses, agriculture, and residential land on the north side of Maryland Route 291. The property's north, south, east, and west portions are currently screened by existing vegetation and a six-foot chain link privacy fence.

### RELEVANT ISSUES

#### I. Density, Height, Width, Bulk, and Fence Requirements

- A. *Applicable Law:* Article V, Section 11.5 of the Kent County Land Use Ordinance establishes the Density, Height, Width, Bulk, and Fence Requirements.
- B. *Staff and TAC Comments:* The front yard setback for the Commercial Zoning District is 100 feet. The proposed alterations to the substation appear to meet the required setbacks.

Although fences are not required to meet the yard setbacks, the applicant has proposed moving the fence closer to the road and installing a panel-based fence. The proposed fence will be 23 feet closer to the road, with a setback of 24 feet. Staff recommends that the Planning Commission discuss the appropriateness of this type of fencing and its setback from the road.

#### II. Commercial Specific Design Standards

- A. *Applicable Law:* Article V, Section 11B of the Kent County Land Use Ordinance establishes the design standards for the Commercial zoning district. The design standards for this district ensure that the site access is sufficient for vehicle and pedestrian safety while also taking measures to alleviate congestion.
- B. *Staff and TAC Comments:*
  - The proposed improvements are located along Maryland Route 291. Currently, there are four driveways which are proposed to be consolidated into two.
  - The State Highway administration (SHA) has no issues or concerns with County/town approval.
  - The Department of Public works has no comments with regard to water and wastewater for this application.
  - The access to the project appears to be adequate and the roads appear to have the capacity to handle the traffic generated by the proposed project.

Additionally, there are no known endangerments to the safety of the general public from this proposal.

### III. Parking and Loading

- A. *Applicable Law:* Article VI, Section 1.3 of the Kent County *Land Use Ordinance* establishes the parking standards for industrial uses based on 1 parking space per 2 employees in the principal shift.
- B. *Staff and TAC Comments:* The applicant's narrative states that the site will be un-manned and therefore have no permanent employees. However, the site plan provides an aggregate maintenance area for vehicles when maintenance is required.

### IV. Site Plan Review

- A. *Applicable Law:* Article VI, Section 5 of the Kent County Land Use Ordinance outlines the procedures and requirements for site plan review. Site Development Plans are required to ensure that new development complies with the Comprehensive Plan, Land Use Ordinance, Village Master Plans and other agency requirements, thereby promoting the health, safety, and general welfare of Kent County residents.

Section 5.3.B.16 establishes that the Planning Commission shall prepare findings of fact concerning the reasonable fulfillment of the objectives listed below.

- a. Conformance with the Comprehensive Plan and, where applicable, the Village Master Plan.
  - b. Conformance with the provisions of all applicable rules and regulations of county, state, and federal agencies.
  - c. Convenience and safety of both vehicular and pedestrian movement within the site and in relationship to adjoining ways and properties.
  - d. Provisions for the off-street loading and unloading of vehicles incidental to the normal operation of the establishment, adequate lighting, and internal traffic control.
  - e. Reasonable demands placed on public services and infrastructure.
  - f. Adequacy of methods for sewage and refuse disposal, and the protection from pollution of both surface waters and groundwater. This includes minimizing soil erosion both during and after construction.
  - g. Protection of abutting properties and County amenities from any undue disturbance caused by excessive or unreasonable noise, smoke, vapors, fumes, dust, odors, glare, stormwater runoff, etc.
  - h. Minimizing the area over which existing vegetation is to be removed. Where tree removal is required, special attention shall be given to planting of replacement trees.
  - i. The applicant's efforts to integrate the proposed development into the existing landscape through design features such as vegetative buffers, roadside plantings, and the retention of open space and agricultural land.
  - j. The building setbacks, area, and location of parking, architectural compatibility, signage, and landscaping of the development, and how these features harmonize with the surrounding townscape and the natural landscape.
- B. *Staff and TAC Comments:*
    - The proposal is consistent with many strategies and goals of the Comprehensive Plan.
    - The State Highway administration (SHA) has no issues or concerns with County/town approval.
    - The Department of Public works has no comments with regard to water and wastewater for this application.

- The Health Department has no objection to this application.
- The applicant has noted that this area is removed from any interaction with the public; as such, all vehicular and pedestrian movement will be governed by the Company in strict compliance with workplace safety.
- The applicant has proposed replacing the existing six-foot chain-link privacy fence with an eight-foot nonconductive panel-based fence. The Planning Commission should discuss and ascertain whether this type of fencing harmonizes with the surrounding townscape and natural landscape.
- The existing landscaping, which was approved in 2021, is a mix of understory trees, evergreen trees, and shrubs. The proposed landscaping is also a mix of understory trees, evergreen trees, and shrubs; however, the proposed landscaping reduces the number of understory trees by one and the evergreen trees by 26 trees. The Planning Commission should discuss whether the proposed landscaping is sufficient for the proposed use and determine if the proposed landscaping harmonizes with the surrounding townscape.
- A stormwater management plan has been submitted. This plan must be approved prior to final site plan approval.
- Due to the nature of the proposed improvements, a citizen participation plan will not be required.

**STAFF RECOMMENDATION:**

In order to receive preliminary site plan approval, the applicant must address and/or submit the following outstanding items:

- A landscape maintenance agreement and a landscape irrigation plan.

At this meeting, the Planning Commission should consider the following:

- The landscape buffer along the north property line to ensure proper screening and consistency with prior approvals.
- The Planning Commission should discuss and ascertain whether this type of fencing harmonizes with the surrounding townscape and natural landscape.

**Kent County Department of Planning, Housing and Zoning**

Kent County Government Center  
400 High Street • Chestertown, MD 21620  
410-778-7423 (phone) • 410-810-2932 (fax)

**SITE PLAN APPLICATION**

**File Number:** \_\_\_\_\_ **Amount Paid:** \$225.00 **Date:** February 26, 2024

**Project Name:** Morgnec Substation Improvements

District: 04 Map: 37 Parcel: 82 Lot Size: 1.72 ac Deed Ref: 25/28 Zoning: C

**LOCATION:** 509 Morgnec Road, Chestertown, MD 21620

**PROPOSED USE:** Expansion and improvement of existing Delmarva Power & Light Co. electric substation

**OWNER OF LAND:**

Name: Delmarva Power & Light Company Telephone: (302) 420-8764

Address: 800 King Street, PO Box 231, Wilmington, DE 19899-0231 Email: ida.parrett@exeloncorp.com

**APPLICANT:**

Name: Delmarva Power & Light Company Telephone: \_\_\_\_\_

Address: \_\_\_\_\_ Email: \_\_\_\_\_

**AGENT/ATTORNEY (if any):**

Name: Ryan Showalter & Tony Kupersmith Telephone: (410) 820-0259

Address: McAllister, DeTar, Showalter & Walker  
100 N. West Street, Easton, MD 21601 Email: rshowalter@mdswlaw.com  
akupersmith@mdswlaw.com

**REGISTERED ENGINEER OR SURVEYOR:**

Name: Scott Parker, PE, Duffield Associates Telephone: (302) 239-6634

Address: 5400 Limestone Road, Wilmington, DE 19808-1232 Email: duffield@duffnet.com

**Please provide the email of the one person who will be responsible for responding to comments. Only this person will be contacted by staff and will be the person responsible for forwarding the comments or requests for additional information to any other interested parties. EMAIL: rshowalter@mdswlaw.com**

Water Supply:  Public System  On lot system N/A  
Sewerage:  Public System  On lot system

**TELEPHONE SERVICED BY:** Verizon

**ELECTRIC SERVICED BY:** Delmarva Power & Light Company

**NOTICE: The Planning Office is not required to make out this Application. If the Planning Department assists you, it cannot be held responsible for its contents.**

**Signature of Applicant**

**Date**

Concept Plan Approving Authority: \_\_\_\_\_ Date \_\_\_\_\_  
 Preliminary Approving Authority: \_\_\_\_\_ Date \_\_\_\_\_  
 Final Approving Authority: \_\_\_\_\_ Date \_\_\_\_\_

## **Site Plan Amendment Supplemental Narrative**

### **Delmarva Power & Light Company Morgnec Road Substation Improvements**

The enclosed application and plans depict improvements to the existing Morgnec Road electric substation approved by major site plan in 2021. These proposed amendments to that recent site plan approval are enhancements focused on the security, safety and capacity of the substation. The improvements consist of slight expansion and upgrade of the fencing to provide greater screening of, and security for, the substation components, landscaping shifts to accommodate the fencing changes and elimination of curb cuts, and additional electrical improvements, which modifications do not represent a change in use or a substantial deviation of the character of the recent major site plan approved. Pursuant to Section 5.5 of the Land Use Ordinance, the Landowner/Applicant respectfully requests the Planning Director to approve the proposed improvements as a site plan amendment following the Technical Advisory Committee's review.

#### **Introduction**

The Planning Commission unanimously approved Delmarva Power & Light Company's expansion of the long-standing Morgnec Substation onto an adjacent parcel in 2021. A citizen participation meeting for that application was held on September 17, 2020 and no substantive issues were raised or reported. No public comments were provided during the Planning Commission's preliminary site plan review in November 2020 or the January 2021 final site plan review.

The proposed modifications to the existing site consist primarily of: (i) a shift of the fence closer to Morgnec Road to provide functional circulation around the substation within the fence enclosure, (ii) elimination of two existing driveways to provide only two access points to Morgnec Road to accommodate safe equipment access to/from the substation, (iii) replacement of the existing fence with a nonconductive panel fence that will provide enhanced screening of and security for the substation, (iv) adjustment of the landscaping between the fence and Morgnec Road to continue to provide a vegetative visual buffer, and (v) additional electrical substation components. This application includes the following materials:

- (i) Site Plan Application and \$225 Fee;
- (ii) This Supplemental Narrative;
- (iii) Site plan set;
- (iv) Preliminary Stormwater Management Report; and
- (v) Pamphlet describing the proposed HESTIA Model Vanquish fencing system.

#### **Required Narrative Elements:**

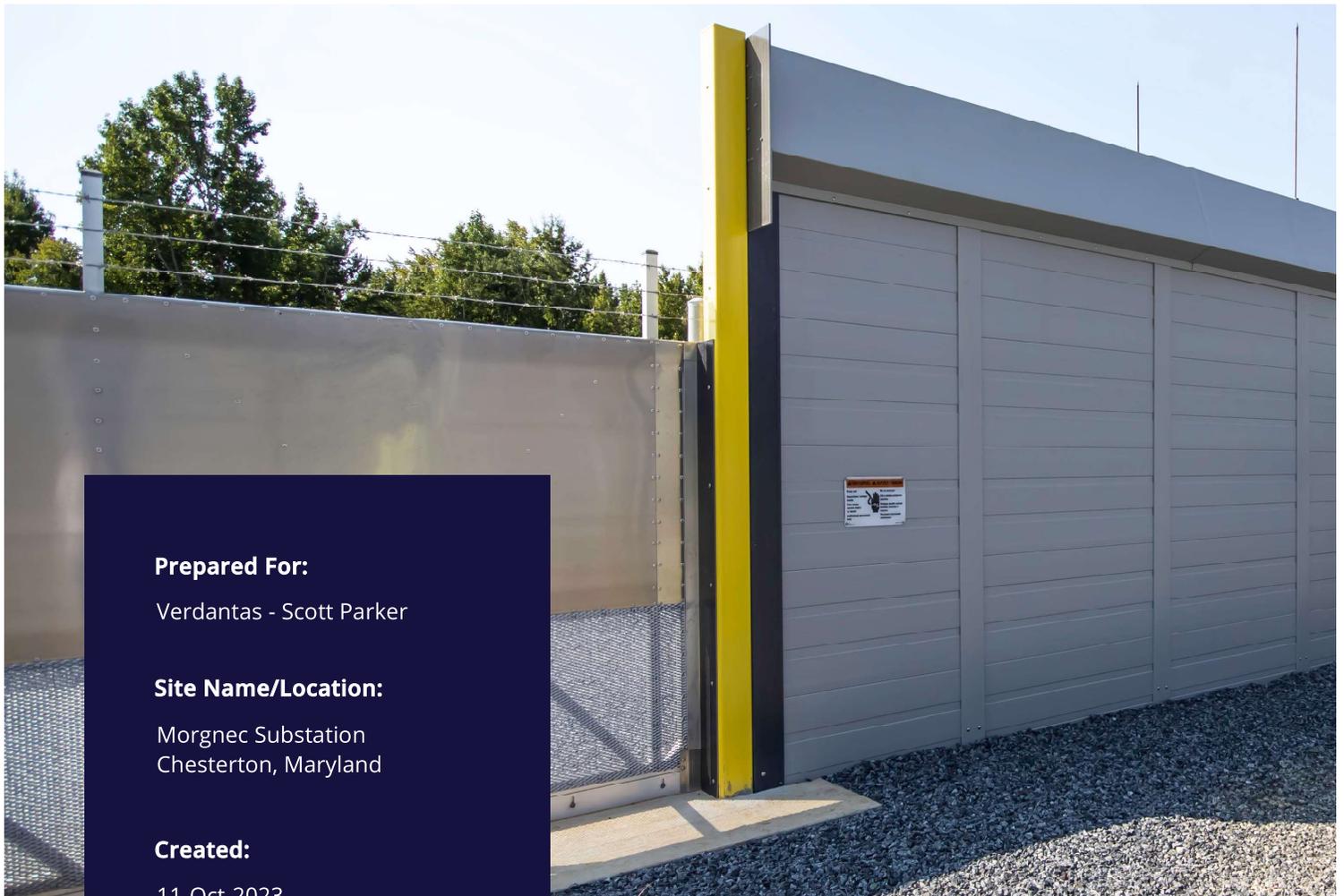
1. Landowner: Delmarva Power & Light Company  
800 King Street  
P.O. Box 231  
Wilmington, DE 19899-0231

Representatives: Ryan Showalter & Anthony Kupersmith  
McAllister, DeTar, Showalter & Walker LLC  
100 N. West Street  
Easton, MD 21601

2. Street address, tax map, and parcel number: 509 Morgnec Road, Chestertown  
Map 27, Parcel 82
3. Zoning of site: Commercial (C)
4. Current and proposed use of the property: Electric utility substation
5. An explanation of the viewshed, open space, and conservation analysis undertaken during the design of the site plan
6. How the proposed development complies with the Comprehensive Plan and the design and environmental standards of this Ordinance: The existing substation is essential for the provision of reliable electric service in this area of Kent County. Periodic capacity and function improvements, coupled with enhancement of the safety and security of the substation are consistent with the Plan's recommendations to maintain and upgrade infrastructure to support existing (and attract new) businesses and maintain the quality of life in the County. The provision of robust electrical service for Chestertown compliments the Plan's objective of accommodating growth in existing towns. The reuse and expansion of an existing facility, rather than construction of a new, independent substation, promotes the efficient use of land, avoids environmental impacts that might result from new construction, and concentrates electrical improvements on a parcel that has been used for this purpose for decades. Reduction of entrances and use of a panel fence system will provide enhanced visual screening of the electrical components of the substation.
7. Proposed type of water and sewer service: None
8. Number of employees: No, resident employees are associated with this use.
9. Proposed development schedule: Construction timing is subject to utility service demands. Additional scheduling information will be provided to the County as it develops.
10. Statement of provisions for ultimate ownership and maintenance of all parts of the development including streets, structures, and open space: Delmarva Power & Light Company will retain ownership and maintenance responsibility for the entire parcel.
11. Water dependent uses in the Critical Area: Not applicable
12. Critical Area density calculations based on the original parcel: Not applicable
13. Citizen Participation Plan: In light of the recent major site plan review, which generated no substantive public comments or concerns, no additional citizen participation plan is proposed.

# The HESTIA Model

Hera™ Series | Non-Conductive System



**Prepared For:**

Verdantas - Scott Parker

**Site Name/Location:**

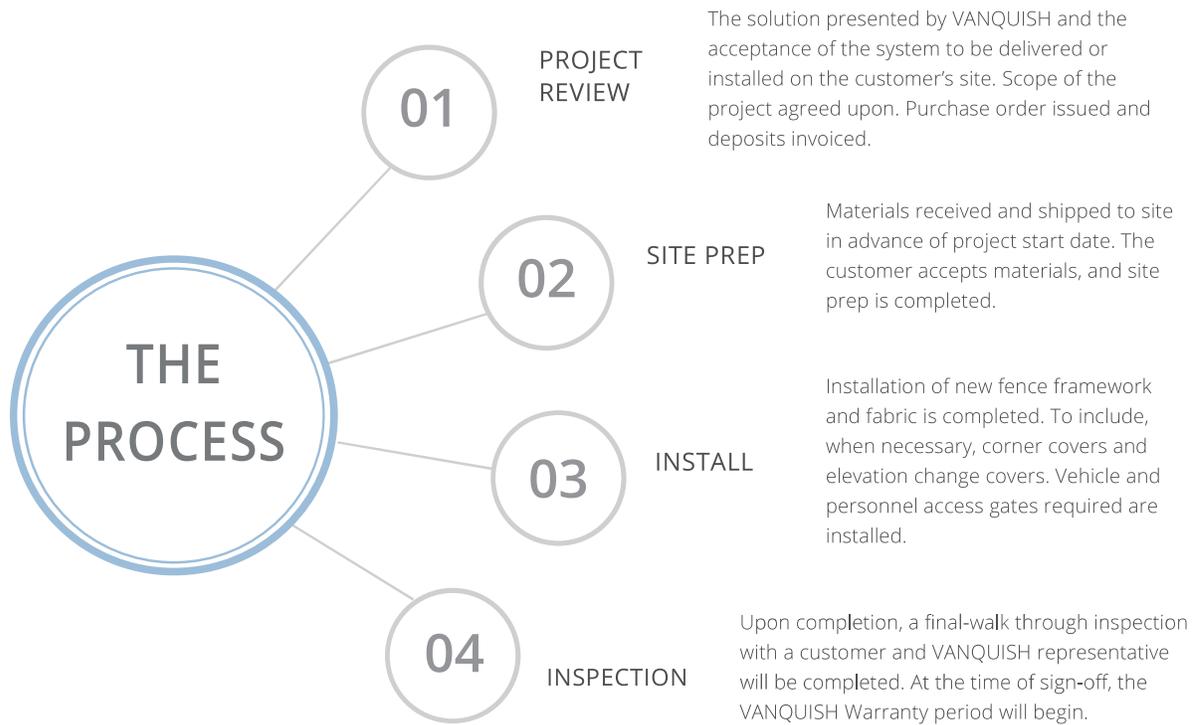
Morgnec Substation  
Chesterton, Maryland

**Created:**

11-Oct-2023

Designing innovative solutions that work for you.

# How we do it?

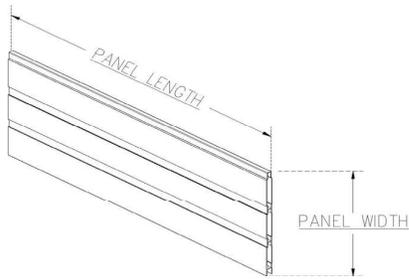


**Note:** Actual order of events may be different depending on delays and obstacles associated with this project once construction begins.



# The Process

## Phase 1



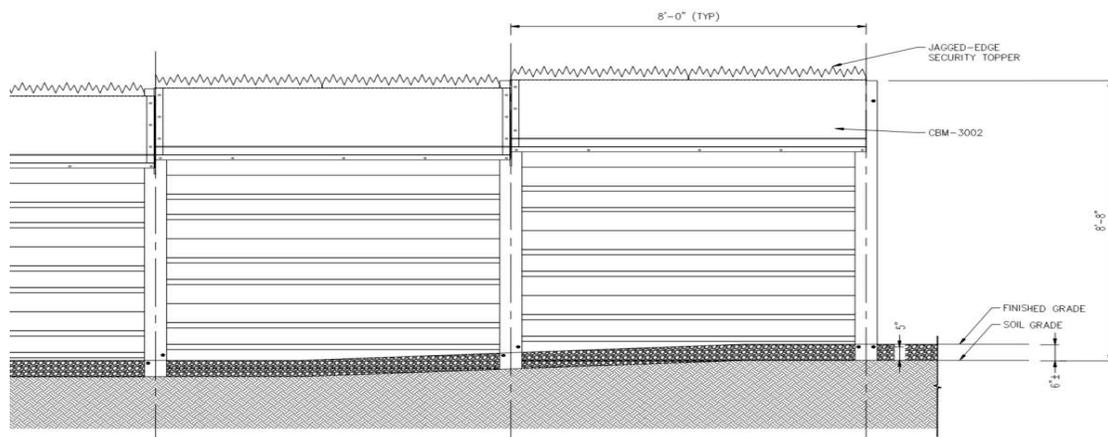
HESTIA PANEL FABRIC

Project review and understanding of Customer Requirements. The solution presented by VANQUISH and the acceptance of the system to be delivered or installed on the customer's site. Scope of the project agreed upon. Purchase order issued, deposits invoiced, and materials ordered.

**Note:** VANQUISH will supply all necessary materials, proprietary and standard, for complete assembly, including install guidance and drawings to ensure proper installation of our PATENTED system.

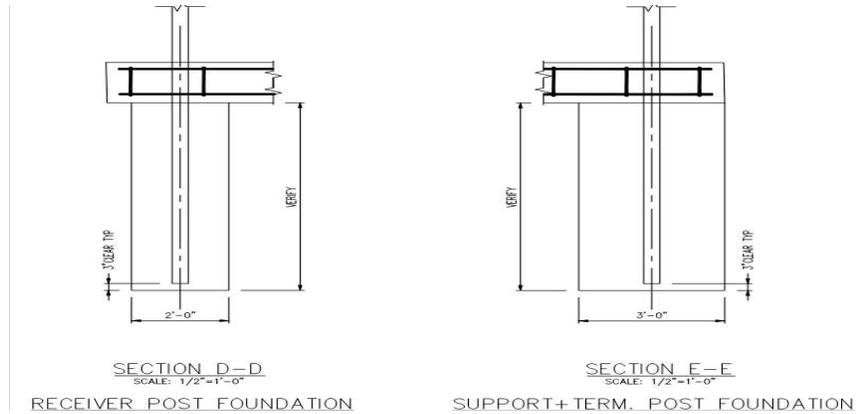
## Phase 2

Materials received and shipped to site in advance of project start date. The customer accepts materials, and site prep is completed. VANQUISH, or the customer's contractor, mobilizes to the site. The temp fence system is installed, the area is secured for construction, and, if necessary, the existing perimeter fence system is removed and disposed of following Local, State, and Federal laws.



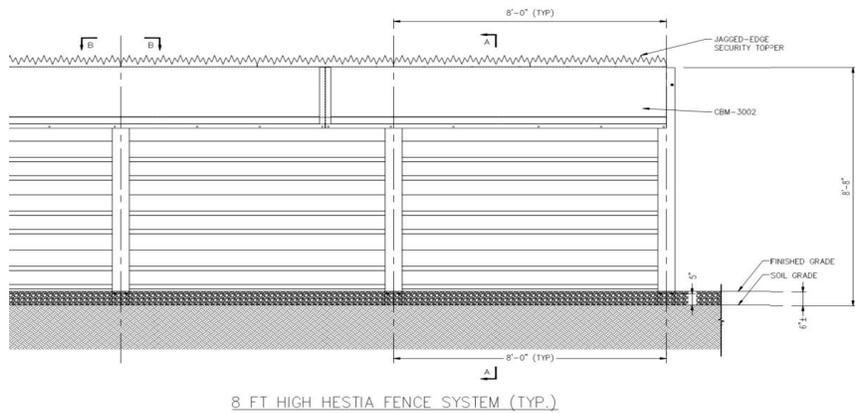
8 FT HIGH HESTIA FENCE SYSTEM (GRADE CHANGE)  
8'-0" NOMINAL DESIGN SPACING

“Real in all we do by offering superior solutions at reasonable margins with unrivaled vision, innovation, and execution.”



### Phase 3

The site is prepared, and post holes are excavated to the proper depths to install the new fence framework. VANQUISH, or the customer’s contractor, assembles a new fence framework according to VANQUISH requirements.



### Phase 4

Fabric install on a new framework to include, when necessary, animal deterrent components, corner covers, and elevation change covers to complete the project and secure the site. As required, vehicle and personnel access gates are installed and adjusted for proper operation during this installation phase.



















**To:** Kent County Planning Commission  
**From:** Mark Carper, Associate Planner  
**Meeting:** April 4, 2024  
**Subject:** Brickyard Landing Holdings, LLC  
Preliminary/Final Site Plan Review – Gillespie Precast, LLC Office Addition

## Executive Summary

### REQUEST BY THE APPLICANT

Brickyard Landing Holdings, LLC is requesting a combined preliminary and final site plan review for the expansion of the Gillespie Precast, LLC office building by constructing a 2-story, 7,296-square-foot addition to the rear of the existing structure.

### PUBLIC PROCESS

Per Article VI, Section 5.2 of the Kent County *Land Use Ordinance*, the Planning Commission shall review and approve major site plans.

### SUMMARY OF THE STAFF REPORT

Located at 101 Brickyard Road, Chestertown, Maryland, this precast facility operates across three adjacent parcels (26, 161, and 490) under the ownership and maintenance of Brickyard Land Holding, LLC. The existing office building is on Parcel 161, which is zoned Industrial (I) and Industrial Critical Area (ICA). The proposed building addition and supporting parking are to be entirely within the Industrial zoning district.

As more than 50% of the project site is within the Critical Area, staff has determined that the proposed activity is exempt from Forest Conservation requirements per Article VI, Section 8.2.10. The proposed project is a support use to the overall industrial use, and a certified engineer's report on performance standards is not required. An addition of 14 new parking spaces is proposed, resulting in a total of 34 spaces. The resultant structure, with a total gross floor area 13,222 square feet, will require 33 parking spaces. The applicant has requested that the bicycle parking requirement be waived. Building elevations and floor plans have been submitted.

### STAFF RECOMMENDATION

Staff recommends approval for the construction of a 2-story, 7,296-square-foot addition to the rear of the existing office structure with the following conditions:

1. Completed review by the Chestertown Utilities for connection to public water and sewer.
2. Approval of the soil and erosion control and stormwater management plans.
3. Submission of all required sureties for stormwater management and sediment and erosion control.

## PRELIMINARY STAFF REPORT

TO: Kent County Planning Commission  
SUBJECT: #23-67 – Brickyard Land Holdings, LLC  
Preliminary/Final Site Plan Review – Gillespie Precast, LLC Office Addition  
DATE: March 29, 2024

### DESCRIPTION OF PROPOSAL

Brickyard Landing Holdings, LLC is requesting a combined preliminary and final site plan review for the expansion of the Gillespie Precast, LLC office building by constructing a 2-story, 7,296-square-foot addition to the rear of the existing structure.

Located at 101 Brickyard Road, Chestertown, Maryland, this precast facility operates across three adjacent parcels (26, 161, and 490) under the ownership and maintenance of Brickyard Land Holding, LLC. The existing office building is on Parcel 161, which is zoned Industrial (I) and Industrial Critical Area (ICA). The proposed building addition and supporting parking are to be entirely within the Industrial zoning district. With a combined area of 76.558 acres for the three parcels, 49.606 acres (approximately 65%) is in the Critical Area. As more than 50% of the project site is within the Critical Area, staff has determined that the proposed activity is exempt from Forest Conservation requirements per Article VI, Section 8.2.10.

### RELEVANT ISSUES

#### I. Permitted Accessory Uses

- A. *Applicable Laws:* Article V, Section 15.4 of the *Kent County Land Use Ordinance* establishes that offices are a permitted accessory use in the Industrial District. A site plan is required.

Article V, Section 15.5 of the *Kent County Land Use Ordinance* establishes the density, height, width, bulk, and fence requirements for the Industrial District Industrial Critical Area District.

- B. *Staff and TAC Comments:* The proposed use is permitted. Building plans with front, side, and rear elevations of all exterior walls for the proposed office building expansion have been submitted for review. The proposed office building expansion meets the minimum setback requirements and height limitations.

#### II. Industrial Performance Standards

- A. *Applicable Law:* Article V, Section 15.6 of the *Kent County Land Use Ordinance* establishes the performance standards for industrial activity. These performance standards address noise, vibration, glare, air pollution, water pollution, radioactivity, electrical interference, smoke and particulate matter, toxic matter, and odorous matter limitations with compliance certified in an engineer's report.

- B. *Staff and TAC Comments:* The proposed project is a support use to the overall industrial use, and a certified engineer's report on performance standards is not required.

#### III. Industrial Environmental Standards

- A. *Applicable Law:* Article V, Section 15.8 of the *Kent County Land Use Ordinance* establishes the Industrial Environmental Standards which include agriculture, anadromous fish, forest conservation, natural heritage areas, nontidal wetlands, stream protection corridor, stormwater management, threatened and endangered species, and water quality standards.
- B. *Staff and TAC Comments:*
- Per Article VI, Section 8.2.10 of the Land Use Ordinance, the proposed activity is exempt from Forest Conservation requirements as more than 50% of the project site is within the Critical Area.
  - Sediment and erosion control and stormwater management plans have been submitted.
  - Maryland’s Environmental Resource and Land Information Network (MERLIN), indicates that there are no threatened or endangered species in the vicinity of the proposed activity.

#### IV. Design Standards

- A. *Applicable Law:* Article V, Section 15.9 of the *Kent County Land Use Ordinance* establishes the Industrial Design Standards which address site access, on-site circulation, floodplain, landscaping, screening, lighting, site planning, and subdivision. Screening is required to protect adjoining properties and roadways from noise, glare, and uses which are visually incompatible with neighboring land uses. Lighting on the site should be sufficient to provide for the safety and security of the business, its employees, and its customers while avoiding glare onto adjacent properties and adjacent roadways and not interfere with traffic or create a safety hazard.

15.9.5 Screening - Screening is required to protect adjoining properties and roadways from noise, glare, and uses which are visually incompatible with neighboring land uses.

- B. *Staff and TAC Comments:*
- It appears that adequate spacing is provided to ensure on-site circulation for the proposed use.
  - In 2018, a landscape plan was approved and implemented on the road frontage of Parcel 161 for an addition to the existing concrete production building. No additional screening is required.
  - The applicant has requested that the bicycle parking requirement be waived.
  - No additional lighting is proposed.

#### V. Site Plan Review

- A. *Comprehensive Plan:* “Strategy: Retain and promote existing businesses and assist in their growth” (Page 8)
- B. *Applicable Law:* Article VI, Section 5 of the *Kent County Land Use Ordinance* outlines the procedures and requirements for site plan review. Site Development Plans are required to ensure that new development complies with the Comprehensive Plan, Land Use Ordinance, Village Master Plans and other agency requirements, thereby promoting the health, safety, and general welfare of Kent County residents.

At each stage of review the Planning Commission shall review the site plan and supporting documents taking into consideration the reasonable fulfillment of the following objectives:

- a. Conformance with the Comprehensive Plan and, where applicable, the Village Master Plan

- b. Conformance with the provisions of all applicable rules and regulations of county, state, and federal agencies.
- c. Convenience and safety of both vehicular and pedestrian movement within the site and in relationship to adjoining ways and properties.
- d. Provisions for the off-street loading and unloading of vehicles incidental to the normal operation of the establishment, adequate lighting, and internal traffic control.
- e. Reasonable demands placed on public services and infrastructure.
- f. Adequacy of methods for sewage and refuse disposal, and the protection from pollution of both surface waters and groundwater. This includes minimizing soil erosion both during and after construction.
- g. Protection of abutting properties and County amenities from any undue disturbance caused by excessive or unreasonable noise, smoke, vapors, fumes, dust, odors, glare, stormwater runoff, etc.
- h. Minimizing the area over which existing vegetation is to be removed. Where tree removal is required, special attention shall be given to planting of replacement trees.
- i. The applicant's efforts to integrate the proposed development into the existing landscape through design features such as vegetative buffers, roadside plantings, and the retention of open space and agricultural land.
- j. The applicant's efforts to design the development to complement and enhance the rural and historic nature of the County including incorporating into the project forms and materials that reflect the traditional construction patterns of neighboring communities.
- k. The building setbacks, area, and location of parking, architectural compatibility, signage, and landscaping of the development, and how these features harmonize with the surrounding townscape and natural landscape.

C. *Staff and TAC Comments:*

- The proposal is consistent with the Comprehensive Plan.
- The proposal conforms with the provisions of applicable rules and regulations.
- Areas for vehicular flow appear to be adequate for the use proposed.
- Demands on public services and infrastructure appear to be reasonable.
- Standard waste from the office is discharged into the Chestertown sewage system. The applicant is awaiting review for the utility connections from the Town of Chestertown.
- Soil and erosion control and stormwater management plans have been submitted.
- A Citizen Participation Report has been submitted along with a sample copy of the letter that was mailed out to adjacent properties. No responses were received.

**STAFF RECOMMENDATION**

Staff recommends approval for the construction of a 2-story, 7,296-square-foot addition to the rear of the existing office structure with the following conditions:

1. Completed review by the Chestertown Utilities for connection to public water and sewer.
2. Approval of the soil and erosion control and stormwater management plans.
3. Submission of all required sureties for stormwater management and sediment and erosion control.



**Planning Commission**  
**Department of Planning, Housing, and Zoning**

January 11, 2024

Andrew Gillespie  
Gillespie Precast, LLC  
102 Brickyard Rd.  
Chestertown, MD 21620

RE: Brickyard Land Holding, LLC / Gillespie Precast, LLC – Concept Site Plan Review (Office Building Addition)

Dear Mr. Gillespie,

At its meeting on January 4, 2024, the Kent County Planning Commission reviewed the concept site plan for the proposed 7,296 square foot addition to the rear of the existing office building.

Following review of all applicable laws and the Comprehensive Plan, the staff report, and testimony from the applicant, the Planning Commission offered the following comments for continuance of the site plan review process:

- The applicant has requested a combined preliminary and final site plan review. A combined review would be permissible if all of the items required for final approval as determined by Planning staff were submitted. These are to include the following:
  - Approved sediment and erosion control and stormwater management plans.
  - Inclusion of details on signs, lighting, and parking requirements on site plan.
  - Completed report on the Citizen Participation Plan.

If you have any questions, please do not hesitate to contact the Planning Department at 410-778-7473.

Sincerely,  
Kent County Planning Commission

Joe Hickman  
Chair

FJH/mc

Cc: Andrew Gillespie, Gillespie Precast, LLC  
Kevin Shearon, P.E. LEED AP, DMS & Associates, LLC



March 27, 2024

Davis, Moore, Shearon & Associates, LLC

Mr. Mark Carper  
Kent County Department of Planning & Zoning  
400 High Street  
Chestertown, Maryland 21620

**RE: GILLESPIE PRECAST, LLC OFFICE ADDITION ON THE LANDS  
BRICKYARD LAND HOLDING, LLC  
KENT COUNTY TAX MAP 37, PARCEL 161  
COUNTY FILE 23-67  
DMS & ASSOCIATES JOB #2023163**

Dear Mark,

Attached please find two copies of revised plans for the above referenced project. The revisions are in response to the March 13, 2024 TAC comments. We offer the following:

1. We acknowledge that the Health Department has no objections to this application.
2. We acknowledge that SHA has no issues or concerns with this application.
3. We acknowledge that the Finance Office has no objections to this application.
4. We acknowledge that a Certified Engineer's Report is not required for this use.
5. We are awaiting review for the stormwater management calculations that were submitted February 19<sup>th</sup>.
6. We are awaiting review for the sediment control plans that were submitted February 19<sup>th</sup>.
7. We acknowledge that Forest Conservation requirements are not applicable to this project.
8. Attached please find a list of the letter recipients of the Citizens Participation plan.
9. We are awaiting review for the utility connections from the Town of Chestertown that were submitted February 27<sup>th</sup>.
10. We acknowledge that parking requirements are satisfied. No additional site lighting is proposed.
11. The Health Department signature line has been updated.

We ask that you please review this information at your earliest convenience. If you have any questions, please feel free to contact me at 443-262-9130.

Sincerely,

DMS & Associates, LLC



Kevin J. Shearon, P.E., LEED AP

Enclosures

pc: Mr. Andrew Gillespie, Gillespie Precast, LLC (via email)

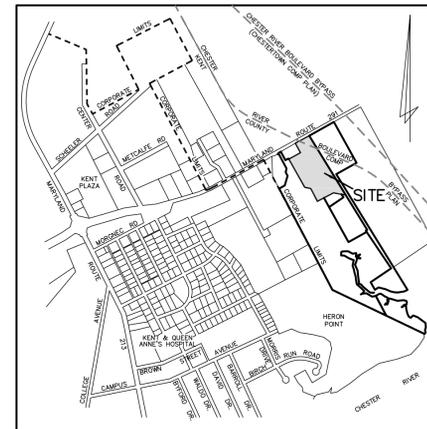
# SITE PLAN FOR GILLESPIE PRECAST OFFICE ADDITION NEAR THE TOWN OF CHESTERTOWN FOURTH ELECTION DISTRICT, KENT COUNTY, MARYLAND PREPARED FOR : BRICKYARD LAND HOLDING, LLC

### SITE STATISTICS

|  |                                    |
|--|------------------------------------|
| GROSS AREA (PARCEL 161)                            | = 12.143 acres± (528,954 sq. ft.±) |
| NON-CRITICAL AREA (ZONE - I)                       | = 11.749 acres± (511,806 sq. ft.±) |
| CRITICAL AREA (ZONE - INDUSTRIAL CRITICAL AREA)    | = 0.393 acres± ( 17,148 sq. ft.±)  |
| AREA IN FLOODPLAIN                                 | = 0.00 acres±                      |
| <b>NON-CRITICAL AREA:</b>                          |                                    |
| FLOOR AREA (EXISTING) (21.8%)                      | = 2,560 acres± (111,528 sq. ft.±)  |
| FLOOR AREA (TO BE REMOVED)                         | = 0.000 acres± ( 0,000 sq. ft.±)   |
| FLOOR AREA (PROPOSED)                              | = 0.084 acres± ( 3,648 sq. ft.±)   |
| FLOOR AREA (TOTAL) (22.5%)                         | = 2,644 acres± (115,176 sq. ft.±)  |
| <b>IMPERVIOUS AREA (EXISTING) (83.9%)</b>          |                                    |
| IMPERVIOUS AREA (TO BE REMOVED)                    | = 0.01 acres±                      |
| IMPERVIOUS AREA (PROPOSED)                         | = 0.10 acres±                      |
| IMPERVIOUS AREA (TOTAL) (84.7%)                    | = 9.95 acres±                      |
| <b>LANDSCAPE AREA (EXISTING) (16.1%)</b>           |                                    |
| LANDSCAPE AREA (PROPOSED) (15.3%)                  | = 1.89 acres±                      |
| <b>CRITICAL AREA:</b>                              |                                    |
| FLOOR AREA (EXISTING)                              | = 0.000 acres± ( 0,000 sq. ft.±)   |
| FLOOR AREA (TO BE REMOVED)                         | = 0.000 acres± ( 0,000 sq. ft.±)   |
| FLOOR AREA (PROPOSED)                              | = 0.000 acres± ( 0,000 sq. ft.±)   |
| FLOOR AREA (TOTAL)                                 | = 0.000 acres± ( 0,000 sq. ft.±)   |
| <b>IMPERVIOUS AREA (EXISTING) (89.7%)</b>          |                                    |
| IMPERVIOUS AREA (TO BE REMOVED)                    | = 0.00 acres±                      |
| IMPERVIOUS AREA (PROPOSED)                         | = 0.00 acres±                      |
| IMPERVIOUS AREA (TOTAL) (89.7%)                    | = 0.35 acres±                      |
| <b>LANDSCAPE AREA (EXISTING) (10.3%)</b>           |                                    |
| LANDSCAPE AREA (PROVIDED) (10.3%)                  | = 0.04 acres±                      |
| <b>FOREST CALCULATIONS (ALL PROPERTIES):</b>       |                                    |
| AREA OF EXISTING FOREST (OVERALL)                  | = 19.086 acres±                    |
| 15% OF GROSS AREA (OVERALL)                        | = 10.327 acres±                    |
| PERCENTAGE OF FOREST ONSITE (OVERALL)              | = 27.7%                            |
| <b>AREA OF EXISTING FOREST (NON-CRITICAL AREA)</b> |                                    |
| 15% OF GROSS AREA (NON-CRITICAL AREA)              | = 1.344 acres±                     |
| PERCENTAGE OF FOREST ONSITE (NON-CRITICAL AREA)    | = 2.886 acres±                     |
| PERCENTAGE OF FOREST ONSITE (NON-CRITICAL AREA)    | = 7.0%                             |
| <b>AREA OF EXISTING FOREST (CRITICAL AREA)</b>     |                                    |
| 15% OF GROSS AREA (CRITICAL AREA)                  | = 17.742 acres±                    |
| PERCENTAGE OF FOREST ONSITE (CRITICAL AREA)        | = 7.441 acres±                     |
| PERCENTAGE OF FOREST ONSITE (CRITICAL AREA)        | = 35.8%                            |

### NOTES

- PROPERTY LINE INFORMATION SHOWN HEREON FOR PARCEL 161 IS TAKEN FROM A PLAT ENTITLED "LOT LINE ADJUSTMENT OF THE LANDS OF BRICKYARD LAND HOLDING, LLC" PREPARED BY DMS & ASSOCIATES, LLC, DATED SEPTEMBER, 2017 AND RECORDED IN PLAT BOOK LIBER M.L.M. 5/164 A-B AND A PLAT ENTITLED "LOT LINE ADJUSTMENT OF THE LANDS OF BRICKYARD LAND HOLDING, LLC AND DAVID A. BRAMBLE, INC." PREPARED BY DMS & ASSOCIATES, LLC DATED NOVEMBER, 2022 AND RECORDED IN PLAT BOOK LIBER S.L.K. 61/127 A-B.
- FOR DEED REFERENCE, SEE LIBER M.L.M. 1002, FOLIO 110.
- CURRENT ZONING - I (INDUSTRIAL)  
- ICA-LDA (INDUSTRIAL CRITICAL AREA - LDA)
- PARCEL 161 IS PARTIALLY LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA DESIGNATION - LDA.
- PARCEL 161 IS NOT LOCATED WITHIN 100 YEAR FLOODPLAIN AS SCALED FROM FLOOD INSURANCE RATE MAP COMMUNITY PANEL No. 24049C0281D. (ZONE "X") (UNSHADED)
- SOILS SHOWN ONSITE ARE SCALED FROM <http://websoilsurvey.nrcs.usda.gov> FOR KENT COUNTY, MARYLAND.
- NONTIDAL WETLANDS ARE NOT PRESENT ON PARCEL 161 AS SCALED FROM THE U.S. DEPARTMENT OF THE INTERIOR FISH AND WILDLIFE WETLAND INVENTORY MAP OF CHESTERTOWN, MARYLAND.
- PERENNIAL/INTERMITTENT STREAMS DO NOT APPEAR ON THE PARCEL 161 AS SCALED FROM U.S. GEOLOGICAL SURVEY, CHESTERTOWN, MARYLAND TOPOGRAPHIC QUADRANGLE MAP.
- STEEP SLOPES DO NOT APPEAR TO OCCUR ON PARCEL 161.
- EXISTING IMPROVEMENTS AND CONTOURS AROUND THE PROPOSED DEVELOPMENT AREA ARE TAKEN FROM EXISTING PLANS AND VERIFIED BY A SITE VISIT. EXISTING IMPROVEMENTS AND CONTOURS WITHIN THE DEVELOPMENT AREA ARE THE RESULT OF A FIELD RUN SURVEY BY MICHAEL A. SCOTT, INC. IN FEBRUARY, 2024.
- EXISTING PUBLIC SEWER AND EXISTING PUBLIC WATER WILL BE UTILIZED FOR SEWAGE DISPOSAL AND POTABLE WATER SUPPLY.



VICINITY MAP  
SCALE 1" = 1200'

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| SHEET C-3 | - SITE, GRADING, UTILITY AND SEDIMENT & EROSION CONTROL PLAN |
| SHEET C-4 | - STORMDRAIN PROFILE   |
| SHEET C-5 | - MISCELLANEOUS DETAILS                                      |
| SHEET C-6 | - SEDIMENT & EROSION CONTROL DETAILS AND SPECIFICATIONS      |

### GENERAL NOTES

- These drawings show information obtained from the best available records regarding pipes, conduits, telephone lines, and other structures and conditions which exist along the lines of the work both at and below the surface of the ground. The owner and engineer disclaim any responsibilities for the accuracy or completeness of said information being shown only for the convenience of the contractor, who must verify the information to his own satisfaction. If the contractor relies on said information, he does so at his own risk. The giving of the information on the contract drawings will not relieve the contractor of his obligations to support and protect all pipes, conduits, telephone lines, and other structures.
- The contractor shall notify the following two (2) weeks prior to the start of construction and shall coordinate construction with the utility companies involved:  
  
Delmarva Power & Light Company ----- 1-800-375-7117  
Miss Utility ----- 1-800-441-8355  
DMS & Associates, LLC ----- 1-443-262-9130  
Kent County Dept. Public Works ----- 1-410-778-7439  
Kent Co. Sediment & Erosion Control Inspector - 1-410-778-7439  
Town of Chestertown Utilities ----- 1-410-778-0500  
Maryland Department of the Environment-----1-410-631-3510
- All construction shall be marked for traffic and pedestrian safety.
- The Contractor shall provide all equipment, labor, and materials for any miscellaneous or test pit excavations required by the Engineer.
- The owner is responsible for the acquisition of all easements, both permanent and temporary.
- The Contractor assumes all responsibility for any deviations from these plans unless said deviation is approved by the Engineer. Contractor shall receive written permission from the Engineer if a deviation of the plans is necessary.
- All disturbed areas shall be smoothly graded to provide positive drainage in the direction of flow arrows herein and stabilized with topsoil, seed, and mulch. If settlement occurs, topsoil, seeding, and mulching shall be repeated until settlement subsides (See Erosion and Sediment Control Specifications).
- All trash, trees, and underbrush are to be cleared and removed off site to an approved dump site by the contractor.
- Any excess excavated material shall be removed off site by the contractor or material shall be placed on site as directed by the Engineer and/or Owner.
- Any existing survey monumentation that is disturbed during construction shall be replaced by a registered surveyor at the contractor's expense.
- The Contractor shall conduct his work in easements so that there will be a minimum of disturbance of the properties crossed. Any disturbed areas shall be restored to its original condition.
- All materials and methods of construction shall conform to the drawings, specifications, local building codes, and the standard specifications and details of Kent County.
- All drainage structures and swales shall remain functional during construction unless otherwise indicated on the plans.
- All water valves, boxes and hydrants shall be set and adjusted to finish grade.
- Wherever sewer or water mains or services run parallel to each other, a minimum horizontal separation of 10' shall be provided.
- Minimum cover over the sewer main shall be 42".
- All concrete used for utility work shall be in accordance with MD SHA Standards and Specifications for Mix No. 2.
- All paving materials and methods shall be in accordance with the latest MD SHA Standards and Specifications and be supplied by a State Certified plant.
- Trenches shall not remain open overnight. If it is necessary for trenches to remain open, steel plates capable of bearing traffic shall be used to completely cover the trench openings.
- Erosion and Sediment Control will be strictly enforced by the Kent County Sediment and Erosion Control Inspector.

### PARKING REQUIREMENTS

**EXISTING OFFICE BUILDING:**  
1 space/400 sq. ft. X 5,926 sq. ft. FLOOR AREA = 15 SPACES  
PARKING SPACES (REQUIRED) = 15 SPACES (1 HANDICAP)

**PROPOSED OFFICE ADDITION:**  
1 space/400 sq. ft. X 7,296 sq. ft. FLOOR AREA = 18 SPACES  
PARKING SPACES (REQUIRED) = 18 SPACES (1 HANDICAP)

**PARKING SPACES (REQUIRED) = 33 SPACES (1 HANDICAP)**  
**PARKING SPACES (PROVIDED) = 34 SPACES (2 HANDICAP)**

\* - EXISTING 20 SPACES WERE APPROVED AND PROVIDED FOR THE ORIGINAL OFFICE BUILDING. 14 ADDITIONAL SPACES ARE TO BE PROVIDED IN THE REAR BY THE NEW ADDITION

**OWNER/DEVELOPER**  
BRICKYARD LAND HOLDING, LLC  
P.O. BOX 450  
CHESTERTOWN, MARYLAND 21620  
PHONE No. 1-410-778-0940

**ENGINEER**  
DMS & ASSOCIATES, LLC  
P.O. BOX 80  
CENTREVILLE, MARYLAND 21617  
PHONE No. 1-443-262-9130

**ARCHITECT**  
PHILLIPS & DONOVAN ARCHITECTURE, LLC  
P.O. BOX 160  
3160 BEDMINISTER ROAD  
BEDMINISTER, PENNSYLVANIA 18910  
PHONE No. 1-215-795-2400

### STATEMENT OF PURPOSE AND INTENT

THE SITE IS LOCATED ON THE SOUTH SIDE OF MARYLAND ROUTE 291 (MORGNEC ROAD) AND IS THE CURRENT LOCATION OF A PRECAST CONCRETE PRODUCTION FACILITY, STORAGE YARDS AND AN OFFICE BUILDING. THE INTENT OF THIS SITE PLAN IS TO CONSTRUCT A NEW ADDITION ONTO THE BACK OF THE EXISTING OFFICE BUILDING.

THE PURPOSE OF THIS SITE PLAN IS TO OBTAIN APPROVAL FROM THE KENT COUNTY PLANNING COMMISSION FOR THE PROPOSED ADDITION ON PARCEL 161 AS REPRESENTED ON THESE PLANS.

REVIEWED FOR THE KENT SOIL AND WATER CONSERVATION DISTRICT AND MEET TECHNICAL REQUIREMENTS

APPROVED:

KENT SOIL AND WATER CONSERVATION DISTRICT DATE

NOTE: KENT SOIL AND WATER CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE, MODIFY OR OTHERWISE ALTER THE EROSION CONTROL PROVISIONS OF THIS PLAN IN THE EVENT ADDITIONAL PROTECTION BECOMES NECESSARY.

### DEVELOPERS CERTIFICATION

I (WE) CERTIFY THAT:

- ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THIS SEDIMENT AND EROSION CONTROL PLAN AND/OR STORMWATER MANAGEMENT PLAN, AND FURTHER, AUTHORIZED THE RIGHT OF ENTRY FOR PERIODIC ONSITE EVALUATION BY THE KENT SOIL AND WATER CONSERVATION DISTRICT SEDIMENT CONTROL INSPECTOR OR MARYLAND DEPARTMENT OF THE ENVIRONMENT.
- ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT THE DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT.
- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR OR SUBCONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THIS PLAN. ANY CHANGE MADE IN THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL PLACE RESPONSIBILITY FOR SAID CHANGE ON THE CONTRACTOR OR SUBCONTRACTOR.

SIGNATURE DATE

ADDRESS CARD No.

PHONE No.

|  |  |   |   |  |   |
|--|--|---|---|--|---|
| KENT COUNTY PLANNING AND ZONING<br>KENT COUNTY PLANNING COMMISSION<br>KENT COUNTY HEALTH DEPARTMENT APPROVING AUTHORITY<br>TOWN OF CHESTERTOWN UTILITIES |  | <b>DAVIS, MOORE, SHEARON &amp; ASSOCIATES, LLC</b><br>ENGINEERING, DRAFTING/DESIGN,<br>ENVIRONMENTAL SERVICES & SURVEYING<br>P.O. BOX 80<br>CENTREVILLE, MARYLAND 21617<br>PHONE : 1-443-262-9130<br>FAX : 1-443-262-9148 | DATE<br>3-27-24<br>REVISION<br>PER COMMENTS | TITLE SHEET<br>FOR<br><b>GILLESPIE PRECAST OFFICE ADDITION</b><br>NEAR THE TOWN OF CHESTERTOWN<br>FOURTH ELECTION DISTRICT, KENT COUNTY, MARYLAND<br>TAX MAP - 37, GRID - 3F, PARCEL - 161<br>PREPARED FOR : BRICKYARD LAND HOLDING, LLC | DATE<br>FEBRUARY '24<br>AS SHOWN<br>JOB No.<br>2023163<br>DRAWN BY<br>WJM<br>FOLDER Ref.<br>37-2023163<br>DESIGNED BY<br>KJS<br>SHEET No. - C-1<br>CADD FILE - 23163-C1 |
|--|--|---|---|--|---|

MSHA NOTES FOR MARYLAND ROUTE 291  
 ROAD TYPE : MAJOR COLLECTOR  
 SPEED LIMIT : 55 mph  
 SHA PLAT REFERENCE : 31684

**P. 490**  
 LANDS N/F OF  
**BRICKYARD LAND HOLDING, LLC**  
 S.L.K. 1292/179  
 ZONED - I (INDUSTRIAL)  
 CURRENT USE - INDUSTRIAL

**P. 26, PARCEL 2**  
 LANDS N/F OF  
**BRICKYARD LAND HOLDING, LLC**  
 M.L.M. 1002/110  
 ZONED - I (INDUSTRIAL)  
 CURRENT USE - INDUSTRIAL

**P. 26, PARCEL 3**  
 LANDS N/F OF  
**BRICKYARD LAND HOLDING, LLC**  
 M.L.M. 1002/110  
 ZONED - I (INDUSTRIAL)  
 CURRENT USE - INDUSTRIAL

**P. 26, PARCEL 1**  
 LANDS N/F OF  
**BRICKYARD LAND HOLDING, LLC**  
 M.L.M. 1002/110  
 ZONED - I (INDUSTRIAL)  
 CURRENT USE - INDUSTRIAL

LANDS N/F OF  
**FRANK B. RHODES, et ux**  
 M.L.M. 762/269  
 ZONED - C (COMMERCIAL)  
 CURRENT USE - COMMERCIAL

L.O.D. - DENOTES LIMITS OF DISTURBANCE  
 AREA = 0.34 ac.±  
 (14,884 sq. ft.±)

DEPICTS AREA OF EXISTING  
 GRAVEL TO BE REMOVED

**NOTE:**  
 EXISTING PAVED ACCESS TO ACT AS A  
 STABILIZED CONSTRUCTION ENTRANCE  
 DURING CONSTRUCTION

**LEGEND**

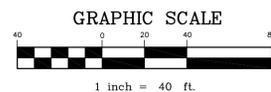
- DEED POINT
- EXISTING UTILITY POLE WITH OVERHEAD UTILITY LINE
- EXISTING SOILS LINE

**NOTE:**  
 FOLLOWING INITIAL DISTURBANCE, PERMANENT OR TEMPORARY, STABILIZATION SHALL BE COMPLETED WITHIN 3 CALENDAR DAYS ON ALL PERIMETER CONTROLS AND SLOPES GREATER THAN 3:1 AND 7 DAYS ON ALL OTHER DISTURBED AREAS ON THE SITE.

**NOTE:**  
 ALL SEDIMENT AND EROSION CONTROL WILL BE STRICTLY ENFORCED

RIGHT-OF-WAY VARIES (MORCNEC ROAD) 291 MARYLAND ROUTE

CRITICAL INDUSTRIAL AREA



REVIEWED FOR THE KENT SOIL AND WATER CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

KENT SOIL AND WATER CONSERVATION DISTRICT \_\_\_\_\_ DATE \_\_\_\_\_

KENT SOIL AND WATER CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE, MODIFY OR OTHERWISE ALTER THE EROSION CONTROL PROVISIONS OF THIS PLAN IN THE EVENT ADDITIONAL PROTECTION BECOMES NECESSARY.

|   |                                 |
|---|---------------------------------|
| KENT COUNTY PLANNING AND ZONING                   | KENT COUNTY PLANNING COMMISSION |
| KENT COUNTY HEALTH DEPARTMENT APPROVING AUTHORITY | TOWN OF CHESTERTOWN UTILITIES   |

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A SELF-LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 2004499, EXPIRATION DATE 9-2025

**STATE OF MARYLAND**  
 PROFESSIONAL ENGINEER

MARCH 27, 2024  
 DATE SEAL

**DAVIS, MOORE, SHEARON & ASSOCIATES, LLC**  
 ENGINEERING, DRAFTING/DESIGN, ENVIRONMENTAL SERVICES & SURVEYING

P.O. BOX 80  
 CENTREVILLE, MARYLAND 21617  
 PHONE : 1-443-262-9130  
 FAX : 1-443-262-9148

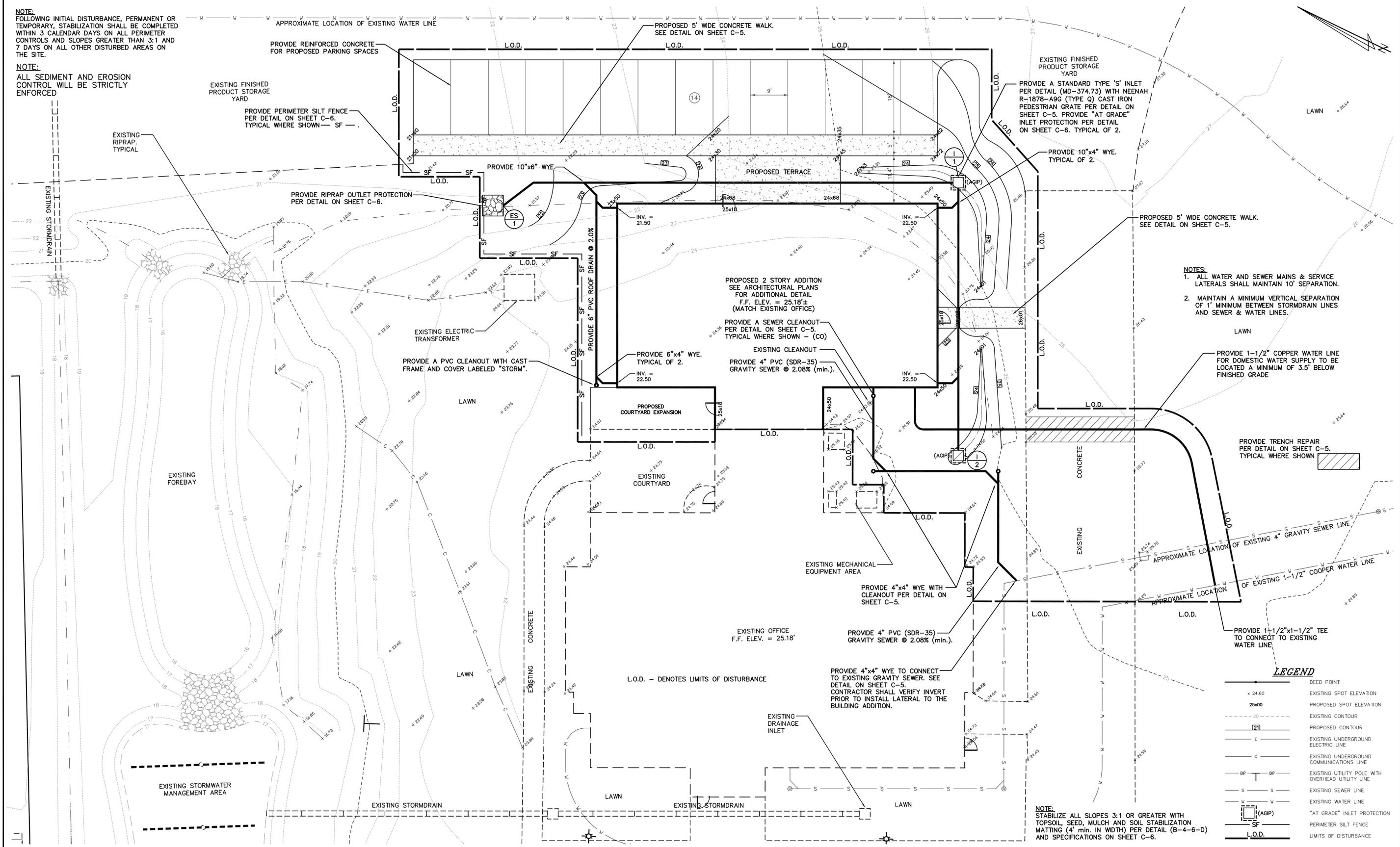
| DATE    | REVISION     |
|---------|--------------|
| 3-27-24 | PER COMMENTS |

OVERALL SITE PLAN  
 FOR  
**GILLESPIE PRECAST OFFICE ADDITION**  
 NEAR THE TOWN OF CHESTERTOWN  
 FOURTH ELECTION DISTRICT, KENT COUNTY, MARYLAND  
 TAX MAP - 37, GRID - 3F, PARCEL - 161  
 PREPARED FOR : BRICKYARD LAND HOLDING, LLC

|                      |             |
|----------------------|-------------|
| DATE                 | SCALE       |
| FEBRUARY '24         | 1" = 40'    |
| JOB No.              | DRAWN BY    |
| 2023163              | WJM         |
| FOLDER Ref.          | DESIGNED BY |
| 37-2023163           | KJS         |
| SHEET No. - C-2      |             |
| CADD FILE - 23163-C2 |             |

**NOTE:**  
 FOLLOWING INITIAL DISTURBANCE, PERMANENT OR TEMPORARY, STABILIZATION SHALL BE COMPLETED WITHIN 3 CALENDAR DAYS ON ALL PERIMETER CONTROLS AND SLOPES GREATER THAN 3:1 AND 7 DAYS ON ALL OTHER DISTURBED AREAS ON THE SITE.

**NOTE:**  
 ALL SEDIMENT AND EROSION CONTROL WILL BE STRICTLY ENFORCED

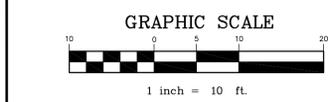


**NOTES:**  
 1. ALL WATER AND SEWER MAINS & SERVICE LATERALS SHALL MAINTAIN 10' SEPARATION.  
 2. MAINTAIN A MINIMUM VERTICAL SEPARATION OF 1' MINIMUM BETWEEN STORMDRAIN LINES AND SEWER & WATER LINES.

**LEGEND**

|         |  |
|---------|--|
| —•—     | DEED POINT                                       |
| x 24.60 | EXISTING SPOT ELEVATION                          |
| 25x00   | PROPOSED SPOT ELEVATION                          |
| ---     | EXISTING CONTOUR                                 |
| ---     | PROPOSED CONTOUR                                 |
| ---     | EXISTING UNDERGROUND ELECTRIC LINE               |
| ---     | EXISTING UNDERGROUND COMMUNICATIONS LINE         |
| OP — BP | EXISTING UTILITY POLE WITH OVERHEAD UTILITY LINE |
| ---     | EXISTING SEWER LINE                              |
| ---     | EXISTING WATER LINE                              |
| (AGIP)  | "AT GRADE" INLET PROTECTION                      |
| SF      | PERIMETER SILT FENCE                             |
| L.O.D.  | LIMITS OF DISTURBANCE                            |

**NOTE:**  
 STABILIZE ALL SLOPES 3:1 OR GREATER WITH TOPSOIL, SEED, MULCH AND SOIL STABILIZATION MATTING (4' min. IN WIDTH) PER DETAIL (B-4-6-D) AND SPECIFICATIONS ON SHEET C-6.



REVIEWED FOR THE KENT SOIL AND WATER CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

KENT SOIL AND WATER CONSERVATION DISTRICT DATE

KENT SOIL AND WATER CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE, MODIFY OR OTHERWISE ALTER THE EROSION CONTROL PROVISIONS OF THIS PLAN IN THE EVENT ADDITIONAL PROTECTION BECOMES NECESSARY.

|   |                                 |
|---|---------------------------------|
| KENT COUNTY PLANNING AND ZONING                   | KENT COUNTY PLANNING COMMISSION |
| KENT COUNTY HEALTH DEPARTMENT APPROVING AUTHORITY | TOWN OF CHESTERTOWN UTILITIES   |

PROFESSIONAL CERTIFICATION:  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A SELF-LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 2004099.

MARCH 27, 2024  
 DATE SEAL

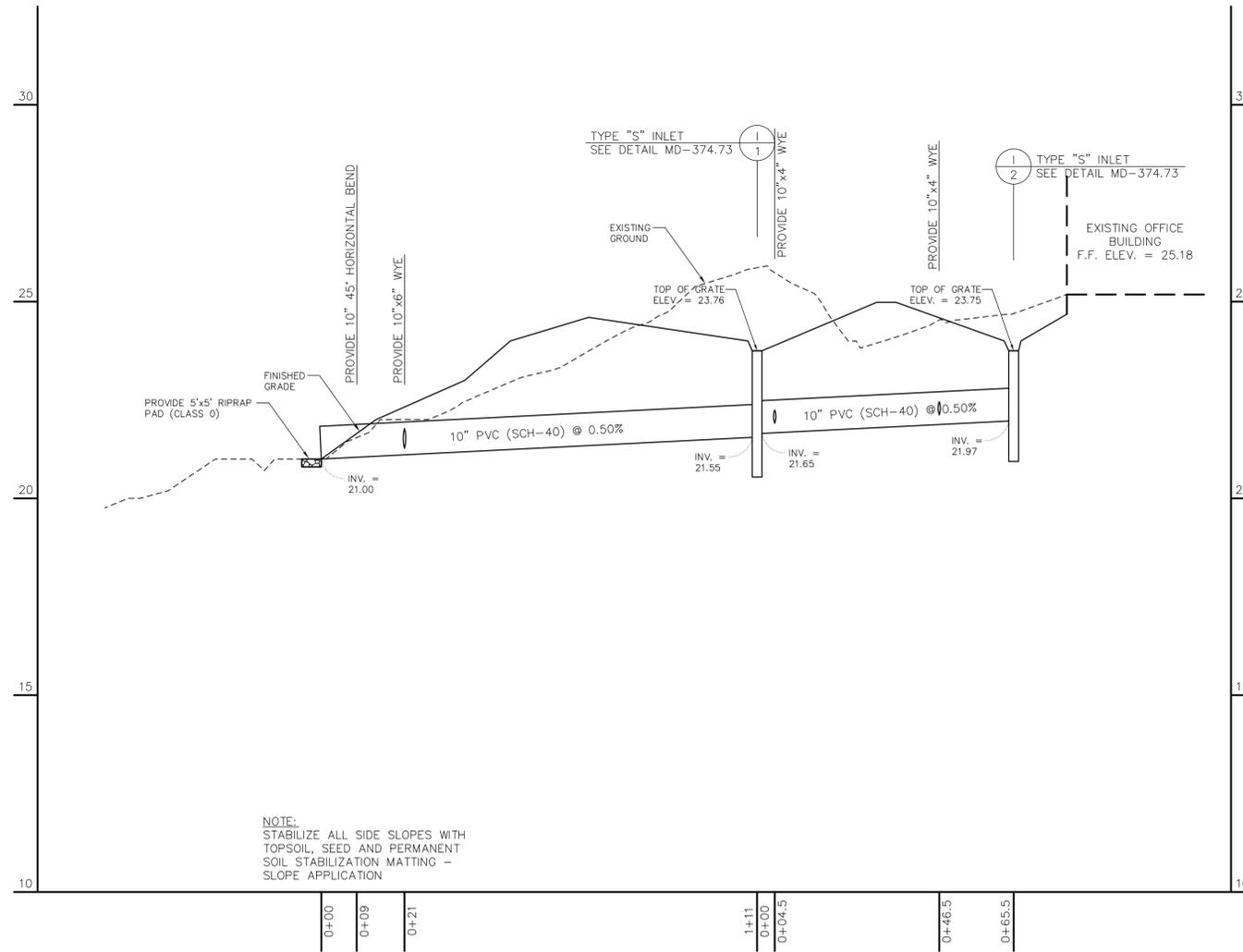
**DAVIS, MOORE, SHEARON & ASSOCIATES, LLC**  
 ENGINEERING, DRAFTING/DESIGN, ENVIRONMENTAL SERVICES & SURVEYING  
 P.O. BOX 80  
 CENTREVILLE, MARYLAND 21617  
 PHONE : 1-443-262-9130  
 FAX : 1-443-262-9148

| DATE    | REVISION     |
|---------|--------------|
| 3-27-24 | PER COMMENTS |

**SITE, GRADING, UTILITY AND SEDIMENT & EROSION CONTROL PLAN**

FOR  
**GILLESPIE PRECAST OFFICE ADDITION**  
 NEAR THE TOWN OF CHESTERTOWN  
 FOURTH ELECTION DISTRICT, KENT COUNTY, MARYLAND  
 TAX MAP - 37, GRID - 3F, PARCEL - 161  
 PREPARED FOR : BRICKYARD LAND HOLDING, LLC

|                      |             |
|----------------------|-------------|
| DATE                 | SCALE       |
| FEBRUARY '24         | 1" = 10'    |
| JOB No.              | DRAWN BY    |
| 2023163              | WJM         |
| FOLDER Ref.          | DESIGNED BY |
| 37-2023163           | KJS         |
| SHEET No. - C-3      |             |
| CADD FILE - 23163-C3 |             |



**STORMDRAIN PROFILE**

SCALE 1" = 20' HORIZONTAL  
1" = 2' VERTICAL

REVIEWED FOR THE KENT SOIL AND WATER CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

KENT SOIL AND WATER CONSERVATION DISTRICT \_\_\_\_\_ DATE \_\_\_\_\_

KENT SOIL AND WATER CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE, MODIFY OR OTHERWISE ALTER THE EROSION CONTROL PROVISIONS OF THIS PLAN IN THE EVENT ADDITIONAL PROTECTION BECOMES NECESSARY.

KENT COUNTY PLANNING AND ZONING \_\_\_\_\_

KENT COUNTY PLANNING COMMISSION \_\_\_\_\_

KENT COUNTY HEALTH DEPARTMENT APPROVING AUTHORITY \_\_\_\_\_

TOWN OF CHESTERTOWN UTILITIES \_\_\_\_\_

PROFESSIONAL CERTIFICATION:  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE No. 2004499



MARCH 27, 2024  
DATE SEAL

**DAVIS, MOORE, SHEARON & ASSOCIATES, LLC**

ENGINEERING, DRAFTING/DESIGN, ENVIRONMENTAL SERVICES & SURVEYING

P.O. BOX 80  
CENTREVILLE, MARYLAND 21617  
PHONE : 1-443-262-9130  
FAX : 1-443-262-9148

| DATE    | REVISION     |
|---------|--------------|
| 3-27-24 | PER COMMENTS |
|         |              |
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TITLE SHEET

FOR

**GILLESPIE PRECAST OFFICE ADDITION**

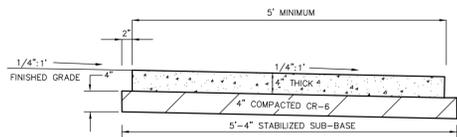
NEAR THE TOWN OF CHESTERTOWN

FOURTH ELECTION DISTRICT, KENT COUNTY, MARYLAND

TAX MAP - 37, GRID - 3F, PARCEL - 161

PREPARED FOR : BRICKYARD LAND HOLDING, LLC

| DATE                   | SCALE           |
|------------------------|-----------------|
| FEBRUARY '24           | AS SHOWN        |
| JOB No. 2023163        | DRAWN BY WJM    |
| FOLDER Ref. 37-2023163 | DESIGNED BY KJS |
| SHEET No. - C-1        |                 |
| CADD FILE - 23163-C1   |                 |

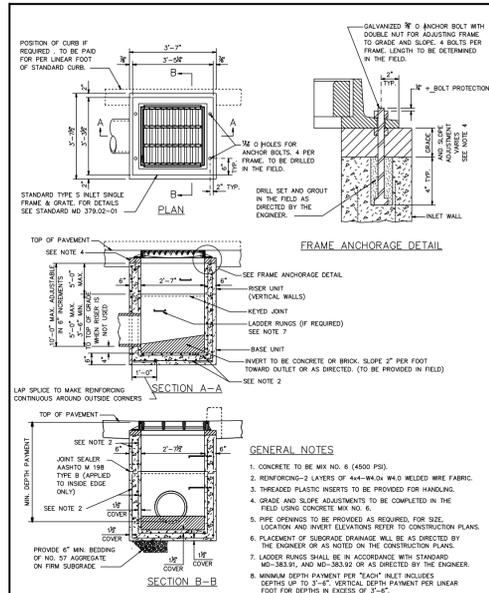


- NOTES:
1. CONCRETE SHALL BE SHA MIX NO. 2, 3,000 PSI - 28 DAY COMPRESSIVE STRENGTH.
  2. STABILIZED SUB-BASE SHALL BE 4 INCHES MINIMUM COMPACTED CR-6 (OR APPROVED EQUAL) PLACED AND COMPACTED ON APPROVED SUBGRADE TO 95% OF THE MODIFIED PROCTOR DENSITY FOR THE MATERIAL.
  3. SIDEWALKS TO BE MAINTAINED BY PROPERTY OWNER.
  4. ALL METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH COUNTY STANDARDS. ALL MATERIAL SPECIFICATIONS SHALL COMPLY WITH THE 2001 EDITION OF THE MARYLAND STATE HIGHWAY ADMINISTRATION'S "STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS" MANUAL AND ANY ADDENDUM THERETO.

|                                 |            |  |
|---------------------------------|------------|--|
| APPROVED                        | SCALE:     |  |
| DATE                            | NO SCALE   |  |
|                                 | REVISIONS: |  |
| DIRECTOR, DEPT. OF PUBLIC WORKS |            |  |
| CHEF ROADS ENGINEER             |            |  |

**CONCRETE SIDEWALK**

STANDARD NO. RD-104.01



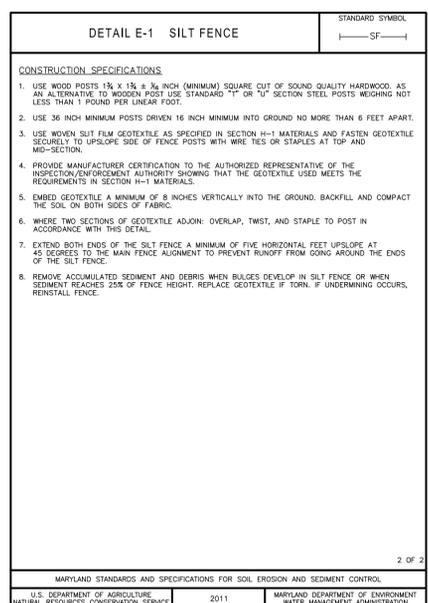
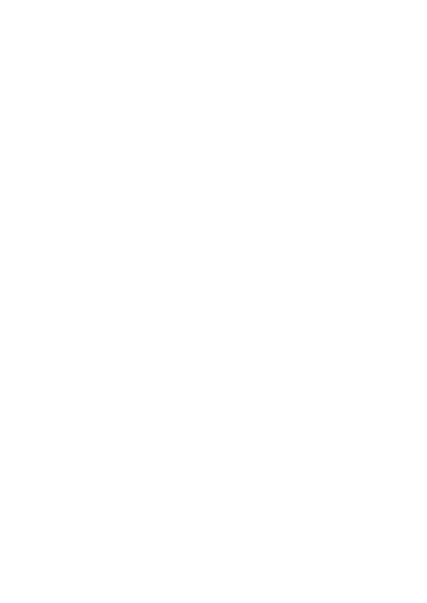
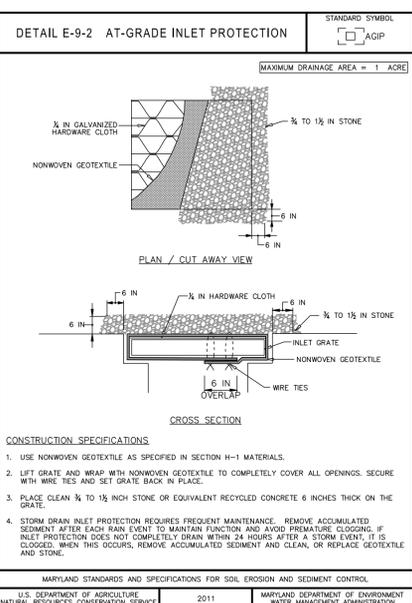
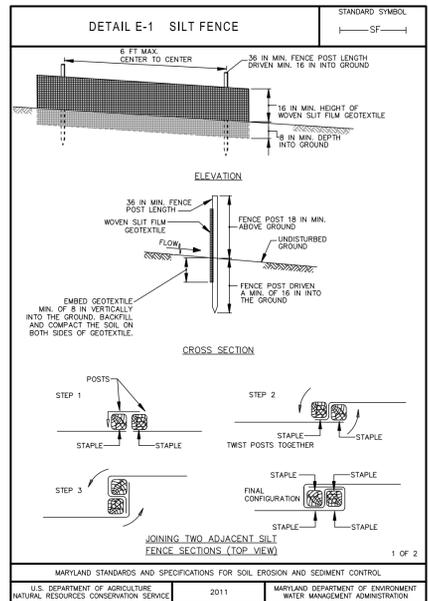
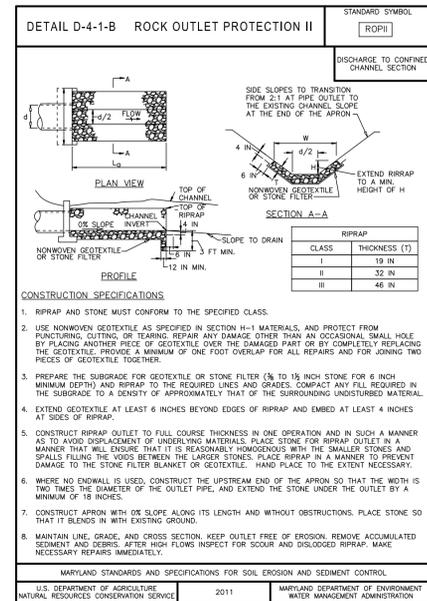
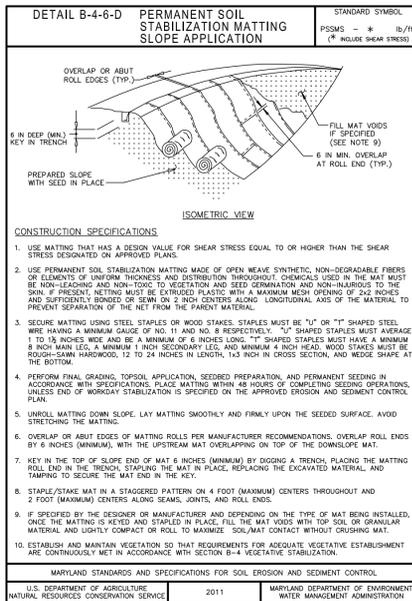
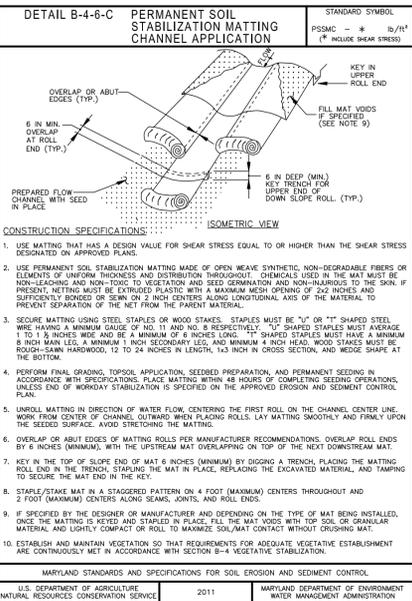
- GENERAL NOTES:
1. CONCRETE TO BE MIX NO. 6 (4500 PSI).
  2. REINFORCING - 2 LAYERS OF #4-#4@10" W/D WELDED WIRE FABRIC.
  3. THREADED PLASTIC INSERTS TO BE PROVIDED FOR HANDLING.
  4. GRADE AND SLOPE ADJUSTMENTS TO BE COMPLETED IN THE FIELD USING CONCRETE MIX NO. 6.
  5. PIPE OPENINGS TO BE PROVIDED AS REQUIRED, FOR SIZE, LOCATION AND INVERT ELEVATIONS REFER TO CONSTRUCTION PLANS.
  6. PLACEMENT OF SURFACE DRAINAGE SHALL BE AS DIRECTED BY THE ENGINEER OR AS NOTED ON THE CONSTRUCTION PLANS.
  7. LADDER RUNGS SHALL BE IN ACCORDANCE WITH STANDARD MD-383.01, AND MD-383.02 OR AS DIRECTED BY THE ENGINEER.
  8. MINIMUM DEPTH PER FOOT FOR EACH INLET INCLUDES DEPTH UP TO 3'-0" VERTICAL DEPTH PER LINEAR FOOT FOR DEPTHS IN EXCESS OF 3'-0".

|               |  |   |
|---------------|--|---|
| SPECIFICATION | CATEGORY CODE ITEMS                      |   |
| 305           |  |   |
| APPROVED      | DIRECTOR - OFFICE OF HIGHWAY DEVELOPMENT |   |
| SHA           | APPROVAL - SHA REGIONAL                  | APPROVAL - FEDERAL HIGHWAY ADMINISTRATION |
| State Highway | APPROVAL 4-13-87                         | APPROVAL 6-23-87                          |
|               | APPROVAL 10-17-88                        | APPROVAL 7-22-89                          |
|               | APPROVAL 7-11-09                         | APPROVAL 7-28-10                          |
|               | APPROVAL 8-1-10                          |   |

MARYLAND DEPARTMENT OF TRANSPORTATION  
STATE HIGHWAY ADMINISTRATION  
STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES  
**PRECAST STANDARD TYPE S INLET SINGLE GRATE**  
STANDARD NO. MD-374.73

**R-1878 Series Frame, Solid Lid/Grate**  
Heavy Duty

| CATALOG NUMBER | GRID SIZE | GRID TYPE | GRID WEIGHT (LBS) |
|----------------|-----------|-----------|-------------------|
| R-1878-A1      | 12" x 12" | 1/2"      | 11                |
| R-1878-A2      | 12" x 12" | 3/4"      | 13                |
| R-1878-A3      | 12" x 12" | 1"        | 15                |
| R-1878-A4      | 12" x 12" | 1 1/4"    | 18                |
| R-1878-A5      | 12" x 12" | 1 1/2"    | 20                |
| R-1878-A6      | 12" x 12" | 1 3/4"    | 22                |
| R-1878-A7      | 12" x 12" | 2"        | 26                |
| R-1878-A8      | 12" x 12" | 2 1/4"    | 29                |
| R-1878-A9      | 12" x 12" | 2 1/2"    | 31                |
| R-1878-A10     | 12" x 12" | 2 3/4"    | 33                |
| R-1878-A11     | 12" x 12" | 3"        | 35                |
| R-1878-A12     | 12" x 12" | 3 1/4"    | 37                |
| R-1878-A13     | 12" x 12" | 3 1/2"    | 39                |
| R-1878-A14     | 12" x 12" | 3 3/4"    | 41                |
| R-1878-A15     | 12" x 12" | 4"        | 43                |
| R-1878-A16     | 12" x 12" | 4 1/4"    | 45                |
| R-1878-A17     | 12" x 12" | 4 1/2"    | 47                |
| R-1878-A18     | 12" x 12" | 4 3/4"    | 49                |
| R-1878-A19     | 12" x 12" | 5"        | 51                |
| R-1878-A20     | 12" x 12" | 5 1/4"    | 53                |
| R-1878-A21     | 12" x 12" | 5 1/2"    | 55                |
| R-1878-A22     | 12" x 12" | 5 3/4"    | 57                |
| R-1878-A23     | 12" x 12" | 6"        | 59                |
| R-1878-A24     | 12" x 12" | 6 1/4"    | 61                |
| R-1878-A25     | 12" x 12" | 6 1/2"    | 63                |
| R-1878-A26     | 12" x 12" | 6 3/4"    | 65                |
| R-1878-A27     | 12" x 12" | 7"        | 67                |
| R-1878-A28     | 12" x 12" | 7 1/4"    | 69                |
| R-1878-A29     | 12" x 12" | 7 1/2"    | 71                |
| R-1878-A30     | 12" x 12" | 7 3/4"    | 73                |
| R-1878-A31     | 12" x 12" | 8"        | 75                |
| R-1878-A32     | 12" x 12" | 8 1/4"    | 77                |
| R-1878-A33     | 12" x 12" | 8 1/2"    | 79                |
| R-1878-A34     | 12" x 12" | 8 3/4"    | 81                |
| R-1878-A35     | 12" x 12" | 9"        | 83                |
| R-1878-A36     | 12" x 12" | 9 1/4"    | 85                |
| R-1878-A37     | 12" x 12" | 9 1/2"    | 87                |
| R-1878-A38     | 12" x 12" | 9 3/4"    | 89                |
| R-1878-A39     | 12" x 12" | 10"       | 91                |
| R-1878-A40     | 12" x 12" | 10 1/4"   | 93                |
| R-1878-A41     | 12" x 12" | 10 1/2"   | 95                |
| R-1878-A42     | 12" x 12" | 10 3/4"   | 97                |
| R-1878-A43     | 12" x 12" | 11"       | 99                |
| R-1878-A44     | 12" x 12" | 11 1/4"   | 101               |
| R-1878-A45     | 12" x 12" | 11 1/2"   | 103               |
| R-1878-A46     | 12" x 12" | 11 3/4"   | 105               |
| R-1878-A47     | 12" x 12" | 12"       | 107               |
| R-1878-A48     | 12" x 12" | 12 1/4"   | 109               |
| R-1878-A49     | 12" x 12" | 12 1/2"   | 111               |
| R-1878-A50     | 12" x 12" | 12 3/4"   | 113               |
| R-1878-A51     | 12" x 12" | 13"       | 115               |
| R-1878-A52     | 12" x 12" | 13 1/4"   | 117               |
| R-1878-A53     | 12" x 12" | 13 1/2"   | 119               |
| R-1878-A54     | 12" x 12" | 13 3/4"   | 121               |
| R-1878-A55     | 12" x 12" | 14"       | 123               |
| R-1878-A56     | 12" x 12" | 14 1/4"   | 125               |
| R-1878-A57     | 12" x 12" | 14 1/2"   | 127               |
| R-1878-A58     | 12" x 12" | 14 3/4"   | 129               |
| R-1878-A59     | 12" x 12" | 15"       | 131               |
| R-1878-A60     | 12" x 12" | 15 1/4"   | 133               |
| R-1878-A61     | 12" x 12" | 15 1/2"   | 135               |
| R-1878-A62     | 12" x 12" | 15 3/4"   | 137               |
| R-1878-A63     | 12" x 12" | 16"       | 139               |
| R-1878-A64     | 12" x 12" | 16 1/4"   | 141               |
| R-1878-A65     | 12" x 12" | 16 1/2"   | 143               |
| R-1878-A66     | 12" x 12" | 16 3/4"   | 145               |
| R-1878-A67     | 12" x 12" | 17"       | 147               |
| R-1878-A68     | 12" x 12" | 17 1/4"   | 149               |
| R-1878-A69     | 12" x 12" | 17 1/2"   | 151               |
| R-1878-A70     | 12" x 12" | 17 3/4"   | 153               |
| R-1878-A71     | 12" x 12" | 18"       | 155               |
| R-1878-A72     | 12" x 12" | 18 1/4"   | 157               |
| R-1878-A73     | 12" x 12" | 18 1/2"   | 159               |
| R-1878-A74     | 12" x 12" | 18 3/4"   | 161               |
| R-1878-A75     | 12" x 12" | 19"       | 163               |
| R-1878-A76     | 12" x 12" | 19 1/4"   | 165               |
| R-1878-A77     | 12" x 12" | 19 1/2"   | 167               |
| R-1878-A78     | 12" x 12" | 19 3/4"   | 169               |
| R-1878-A79     | 12" x 12" | 20"       | 171               |
| R-1878-A80     | 12" x 12" | 20 1/4"   | 173               |
| R-1878-A81     | 12" x 12" | 20 1/2"   | 175               |
| R-1878-A82     | 12" x 12" | 20 3/4"   | 177               |
| R-1878-A83     | 12" x 12" | 21"       | 179               |
| R-1878-A84     | 12" x 12" | 21 1/4"   | 181               |
| R-1878-A85     | 12" x 12" | 21 1/2"   | 183               |
| R-1878-A86     | 12" x 12" | 21 3/4"   | 185               |
| R-1878-A87     | 12" x 12" | 22"       | 187               |
| R-1878-A88     | 12" x 12" | 22 1/4"   | 189               |
| R-1878-A89     | 12" x 12" | 22 1/2"   | 191               |
| R-1878-A90     | 12" x 12" | 22 3/4"   | 193               |
| R-1878-A91     | 12" x 12" | 23"       | 195               |
| R-1878-A92     | 12" x 12" | 23 1/4"   | 197               |
| R-1878-A93     | 12" x 12" | 23 1/2"   | 199               |
| R-1878-A94     | 12" x 12" | 23 3/4"   | 201               |
| R-1878-A95     | 12" x 12" | 24"       | 203               |
| R-1878-A96     | 12" x 12" | 24 1/4"   | 205               |
| R-1878-A97     | 12" x 12" | 24 1/2"   | 207               |
| R-1878-A98     | 12" x 12" | 24 3/4"   | 209               |
| R-1878-A99     | 12" x 12" | 25"       | 211               |
| R-1878-A100    | 12" x 12" | 25 1/4"   | 213               |
| R-1878-A101    | 12" x 12" | 25 1/2"   | 215               |
| R-1878-A102    | 12" x 12" | 25 3/4"   | 217               |
| R-1878-A103    | 12" x 12" | 26"       | 219               |
| R-1878-A104    | 12" x 12" | 26 1/4"   | 221               |
| R-1878-A105    | 12" x 12" | 26 1/2"   | 223               |
| R-1878-A106    | 12" x 12" | 26 3/4"   | 225               |
| R-1878-A107    | 12" x 12" | 27"       | 227               |
| R-1878-A108    | 12" x 12" | 27 1/4"   | 229               |
| R-1878-A109    | 12" x 12" | 27 1/2"   | 231               |
| R-1878-A110    | 12" x 12" | 27 3/4"   | 233               |
| R-1878-A111    | 12" x 12" | 28"       | 235               |
| R-1878-A112    | 12" x 12" | 28 1/4"   | 237               |
| R-1878-A113    | 12" x 12" | 28 1/2"   | 239               |
| R-1878-A114    | 12" x 12" | 28 3/4"   | 241               |
| R-1878-A115    | 12" x 12" | 29"       | 243               |
| R-1878-A116    | 12" x 12" | 29 1/4"   | 245               |
| R-1878-A117    | 12" x 12" | 29 1/2"   | 247               |
| R-1878-A118    | 12" x 12" | 29 3/4"   | 249               |
| R-1878-A119    | 12" x 12" | 30"       | 251               |
| R-1878-A120    | 12" x 12" | 30 1/4"   | 253               |
| R-1878-A121    | 12" x 12" | 30 1/2"   | 255               |
| R-1878-A122    | 12" x 12" | 30 3/4"   | 257               |
| R-1878-A123    | 12" x 12" | 31"       | 259               |
| R-1878-A124    | 12" x 12" | 31 1/4"   | 261               |
| R-1878-A125    | 12" x 12" | 31 1/2"   | 263               |
| R-1878-A126    | 12" x 12" | 31 3/4"   | 265               |
| R-1878-A127    | 12" x 12" | 32"       | 267               |
| R-1878-A128    | 12" x 12" | 32 1/4"   | 269               |
| R-1878-A129    | 12" x 12" | 32 1/2"   | 271               |
| R-1878-A130    | 12" x 12" | 32 3/4"   | 273               |
| R-1878-A131    | 12" x 12" | 33"       | 275               |
| R-1878-A132    | 12" x 12" | 33 1/4"   | 277               |
| R-1878-A133    | 12" x 12" | 33 1/2"   | 279               |
| R-1878-A134    | 12" x 12" | 33 3/4"   | 281               |
| R-1878-A135    | 12" x 12" | 34"       | 283               |
| R-1878-A136    | 12" x 12" | 34 1/4"   | 285               |
| R-1878-A137    | 12" x 12" | 34 1/2"   | 287               |
| R-1878-A138    | 12" x 12" | 34 3/4"   | 289               |
| R-1878-A139    | 12" x 12" | 35"       | 291               |
| R-1878-A140    | 12" x 12" | 35 1/4"   | 293               |
| R-1878-A141    | 12" x 12" | 35 1/2"   | 295               |
| R-1878-A142    | 12" x 12" | 35 3/4"   | 297               |
| R-1878-A143    | 12" x 12" | 36"       | 299               |
| R-1878-A144    | 12" x 12" | 36 1/4"   | 301               |
| R-1878-A145    | 12" x 12" | 36 1/2"   | 303               |
| R-1878-A146    | 12" x 12" | 36 3/4"   | 305               |
| R-1878-A147    | 12" x 12" | 37"       | 307               |
| R-1878-A148    | 12" x 12" | 37 1/4"   | 309               |
| R-1878-A149    | 12" x 12" | 37 1/2"   | 311               |
| R-1878-A150    | 12" x 12" | 37 3/4"   | 313               |
| R-1878-A151    | 12" x 12" | 38"       | 315               |
| R-1878-A152    | 12" x 12" | 38 1/4"   | 317               |
| R-1878-A153    | 12" x 12" | 38 1/2"   | 319               |
| R-1878-A154    | 12" x 12" | 38 3/4"   | 321               |
| R-1878-A155    | 12" x 12" | 39"       | 323               |
| R-1878-A156    | 12" x 12" | 39 1/4"   | 325               |
| R-1878-A157    | 12" x 12" | 39 1/2"   | 327               |
| R-1878-A158    | 12" x 12" | 39 3/4"   | 329               |
| R-1878-A159    | 12" x 12" | 40"       | 331               |
| R-1878-A160    | 12" x 12" | 40 1/4"   | 333               |
| R-1878-A161    | 12" x 12" | 40 1/2"   | 335               |
| R-1878-A162    | 12" x 12" | 40 3/4"   | 337               |
| R-1878-A163    | 12" x 12" | 41"       | 339               |
| R-1878-A164    | 12" x 12" | 41 1/4"   | 341               |
| R-1878-A165    | 12" x 12" | 41 1/2"   | 343               |
| R-1878-A166    | 12" x 12" | 41 3/4"   | 345               |
| R-1878-A167    | 12" x 12" | 42"       | 347               |
| R-1878-A168    | 12" x 12" | 42 1/4"   | 349               |
| R-1878-A169    | 12" x 12" | 42 1/2"   | 351               |
| R-1878-A170    | 12" x 12" | 42 3/4"   | 353               |
| R-1878-A171    | 12" x 12" | 43"       | 355               |
| R-1878-A172    | 12" x 12" | 43 1/4"   | 357               |
| R-1878-A173    | 12" x 12" | 43 1/2"   | 359               |
| R-1878-A174    | 12" x 12" | 43 3/4"   | 361               |
| R-1878-A175    | 12" x 12" | 44"       | 363               |
| R-1878-A176    | 12" x 12" | 44 1/4"   | 365               |
| R-1878-A177    | 12" x 12" | 44 1/2"   | 367               |
| R-1878-A178    | 12" x 12" | 44 3/4"   | 369               |
| R-1878-A179    | 12" x 12" | 45"       | 371               |
| R-1878-A180    | 12" x 12" | 45 1/4"   | 373               |
| R-1878-A181    | 12" x 12" | 45 1/2"   | 375               |
| R-1878-A182    | 12" x 12" | 45 3/4"   | 377               |
| R-1878-A183    | 12" x 12" | 46"       | 379               |
| R-1878-A184    | 12" x 12" | 46 1/4"   | 381               |
| R-1878-A185    | 12" x 12" | 46 1/2"   | 383               |
| R-1878-A186    | 12" x 12" | 46 3/4"   | 385               |
| R-1878-A187    | 12" x 12" | 47"       | 387               |
| R-1878-A188    | 12" x 12" | 47 1/4"   | 389               |
| R-1878-A189    | 12" x 12" | 47 1/2"   | 391               |
| R-1878-A190    | 12" x 12" | 47 3/4"   | 393               |
| R-1878-A191    | 12" x 12" | 48"       | 395               |
| R-1878-A192    | 12" x 12" | 48 1/4"   | 397               |
| R-1878-A193    | 12" x 12" | 48 1/2"   | 399               |
| R-1878-A194    | 12" x 12" | 48 3/4"   | 401               |
| R-1878-A195    | 12" x 12" | 49"       | 403               |
| R-1878-A196    | 12" x 12" | 49 1/4"   | 405               |
| R-1878-A197    | 12" x 12" | 49 1/2"   | 407               |
| R-1878-A198    | 12" x 12" | 49 3/4"   | 409               |
| R-1878-A199    | 12" x 12" | 50"       | 411               |
| R-1878-A200    | 12" x 12" | 50 1/4"   | 413               |
| R-1878-A201    | 12" x 12" | 50 1/2"   | 415               |
| R-1878-A202    | 12" x 12" | 50 3/4"   | 417               |
| R-1878-A203    | 12" x 12" | 51"       | 419               |
| R-1878-A204    | 12" x 12" | 51 1/4"   | 421               |
| R-1878-A205    | 12" x 12" | 51 1/2"   | 423               |
| R-1878-A206    | 12" x 12" | 51 3/4"   | 425               |
| R-1878-A207    | 12" x 12" | 52"       | 427               |
| R-1878-A208    | 12" x 12" | 52 1/4"   | 429               |
| R-1878-A209    | 12" x 12" | 52 1/2"   | 431               |
| R-1878-A210    | 12" x 12" | 52 3/4"   | 433               |
| R-1878-A211    | 12" x 12" | 53"       | 435               |
| R-1878-A212    | 12" x 12" | 53 1/4"   | 437               |
| R-1878-A213    | 12" x 12" | 53 1/2"   | 439               |
| R-1878-A214    | 12" x 12" | 53 3/4"   | 441               |
| R-1878-A215    | 12" x 12" | 54"       | 443               |
| R-1878-A216    | 12" x 12" | 54 1/4"   | 445               |
| R-1878-A217    | 12" x 12" | 54 1/2"   | 447               |
| R-1878-A218    | 12" x 12" | 54 3/4"   | 449               |
| R-1878-A219    | 12" x 12" | 55"       | 451               |
| R-1878-A220    | 12" x 12" | 55 1/4"   | 453               |
| R-1878-A221    | 12" x 12" | 55 1/2"   | 455               |
| R-1878-A222    | 12" x 12" | 55 3/4"   | 457               |
| R-1878-A223    | 12" x 12" | 56"       | 459               |
| R-1878-A224    | 12" x 12" | 56 1/4"   | 461               |
| R-1878-A225    | 12" x 12" | 56 1/2"   | 463               |
| R-187          |           |           |                   |



**GENERAL NOTES**

- Notification of Kent County (410-778-7437) at least five (5) days prior to the start of work.
- Prior to the start of work, the Contractor is to obtain County approval of any proposed plan changes and sequence of construction, specifically relating to installation, inspection, maintenance and removal of erosion and sediment control measures.
- Sediment control measures are not to be removed until the areas served have established vegetative cover, or with the permission of the Kent County Sediment Control Inspector.
- When pumping sediment-laden water, the discharge must be directed to an approved sediment trapping measure prior to release from the site.
- All temporary stockpiles are to be located within areas protected by sediment control measures, and are to be temporary stabilizing.
- All sediment control dikes, swales, basins and flow lines to basins will be temporarily seeded immediately upon installation to reduce the contribution to sediment loading.
- Disposal of excess earth materials on State or Federal property requires MDE Approval, otherwise materials are to be disposed of at a location approved by the local authority.
- Temporary soil erosion control and sediment control measures are to be provided as per the approved plan prior to grading operations. Location adjustments are to be made in the field as necessary. The minimum area practical shall be disturbed for the minimum possible time.
- If grading is completed out of a seeding season, graded areas are to be temporarily stabilized with mulch and mulch anchoring. Mulch material shall be unweathered, unchopped small grain straw spread at the rate of 2 to 2 1/2 tons per acre. Mulch anchoring to be accomplished by an approved method, use of a mulch anchoring tool is recommended where possible.
- Implementation of the sediment control plan shall be in accordance with the 2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control.
- The Contractor is responsible for implementation and maintenance of the approved plan, and all other measures necessary to control, filter, or prevent sediment from leaving the site.
- In case where stormwater management structures are a part of site development, removal of sediment control structures may not be accomplished before the contributing drainage area to the stormwater management structure is dewatered and stabilized.
- On sites where infiltration techniques are utilized for the control of stormwater, extreme care must be taken to prevent all runoff from entering the structure during construction.
- Sediment control for utility construction in areas outside of designed controls:
  - Excavated trench material shall be placed on the high side of the trench.
  - Immediately following pipe installation the trench shall be backfilled, compacted and stabilized at the end of each working day.
  - Temporary silt fence or straw bale dikes shall be placed immediately downstream of any disturbed area intended to remain disturbed longer than one working day.
- All points on construction ingress and egress shall be protected to prevent tracking of mud onto public ways.
- Site information:
 

|                            |              |
|----------------------------|--------------|
| Total Area of Site         | 12.143 Acres |
| Area Disturbed             | 0.34 Acres   |
| Area to be Roofed or Paved | 10.30 Acres  |
| Total Cut                  | 355 cy*      |
| Total Fill                 | 73 cy*       |

\* CUT AND FILL AMOUNTS ARE APPROXIMATE. THE CONTRACTOR SHALL DO A SEPARATE TAKE-OFF.

**EROSION & SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION**

- Contractor shall install soil erosion and sediment control devices prior to any grading. Following initial disturbance or re-disturbance, permanent or temporary stabilization shall be completed within three (3) calendar days as to the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes greater than three (3) horizontal to one (1) vertical (3:1) and seven days (7) as to all other disturbed or graded areas on the project site.
- All temporary erosion and sediment control devices are to be provided as indicated on this plan, with location adjustments to be made in the field as necessary, and to be maintained at the end of each working day until project completion. The minimum area practical shall be disturbed for the minimal amount of time possible.
- Clearing and grubbing shall include all trees, brush, debris, root mat and organic materials to be removed.
- Temporary seeding shall be accomplished between February 15th through April 30th, or August 15th through November 30th. During other times, temporary mulching shall be provided.
- Temporary seeding shall conform to the following applications: 436 lbs. per acre of 10-20-20; 4,000 lbs. per acre of ground limestone, to be incorporated into the soil by disking or other suitable means. Annual rye grass shall be applied at a rate of 50 lbs. per acre using suitable equipment. Mulching shall be accomplished immediately after seeding.

| Seed Mixture (Per Hazard Zone 7a) (From Table B-1) |                  | Seeding Date        |                         | Fertilizer Rate (10-20-20) |             | Line Note   |  |
|--|------------------|---------------------|-------------------------|----------------------------|-------------|-------------|--|
| No.  | Species          | App. Rate (lb./Ac.) | Seeding Date            | Seeding Depth              | N           | P205        |  |
|  | ANNUAL RYE GRASS | 50 lbs.             | 2/15-4/30<br>8/15-11/30 | 1/2"                       |             |             |  |
|  | BARLEY OATS      | 96 lbs.             | 2/15-4/30, 8/15-11/30   | 1"                         | 436 lb/acre | 2 tons/acre |  |
|  | WHEAT            | 120 lbs.            | 2/15-4/30, 8/15-11/30   | 1"                         | 10 lb/acre  | 90 lb/acre  |  |
|  | CERIAL RYE       | 112 lbs.            | 2/15-4/30, 8/15-12/15   | 1"                         | 10 lb/acre  | 90 lb/acre  |  |
|  | FOXTAIL MILLET   | 30 lbs.             | 5/1-8/14                |                            |             |             |  |
|  | PEARL MILLET     | 20 lbs.             | 5/1-8/14                | 1/2"                       |             |             |  |

- Mulching shall be unchopped, unrotted, small grain straw applied at a rate of 2-2 1/2 tons per acre. Anchor mulch with a mulch anchoring tool on the contour. Wood cellulose fiber may be used for anchoring straw at 750 lbs. per acre mixed with water at a maximum of 50 lbs. of wood cellulose fiber per 100 gals. of water, or with a synthetic liquid binder according to manufacture recommendations. Wood cellulose fiber used as mulch must be applied at a net dry weight of 1,500 lbs. per acre. Mix wood cellulose fiber with water to attain a mixture with a maximum of 50 lbs. of wood cellulose fiber per 100 gals. of water.
- Permanent seeding shall be accomplished between March 1st through May 15th, or August 15th through October 15th. Permanent seeding at other than specified times will be allowed only upon written approval. Permanent seeding shall conform to the following applications: Permanent seeding for sites having disturbed over five (5) acres shall use fertilizer rates recommended by a soil testing agency and the recommendations provided in the Permanent Seeding Summary Table. Permanent seeding for conditions other than listed above shall be performed at the rates and dates as provided in the Permanent Seeding Summary Table below. Fertilizer and lime amendments shall be incorporated into the top 3" - 5" of the soil by disking or other suitable means. Mulching shall be accomplished as discussed in Item #6 of these specifications.

| Seed Mixture (Per Hazard Zone 7a) (From Table B-1) |   | Seeding Date                  |                        | Fertilizer Rate (10-20-20) |            | Line Note  |              |
|--|---|-------------------------------|------------------------|----------------------------|------------|------------|--------------|
| No.  | Species   | App. Rate (lb./Ac.)           | Seeding Date           | Seeding Depth              | N          | P205       |              |
| 7  | CREeping RED FESCUE KENTUCKY BLUEGRASS            | 60 lbs.                       | 3/1-5/15<br>8/15-10/15 | 1/4"<br>1/2"               |            |            |              |
| 8  | TALL FESCUE                                       | 100 lbs.                      | 3/1-5/15<br>8/15-10/15 | 1/4"<br>1/2"               | 45 lb/acre | 90 lb/acre | 2 tons/acre  |
| 9  | TALL FESCUE KENTUCKY BLUEGRASS PERENNIAL RYEGRASS | 60 lbs.<br>40 lbs.<br>20 lbs. | 3/1-5/15<br>8/15-10/15 | 1/4"<br>1/2"               | 10 lb/acre | 90 lb/acre | 1000 lb/acre |

- Any spot or borrow will be placed at a site approved by the Soil Conservation District.
- All areas remaining or intended to remain disturbed for longer than seven (7) days shall be stabilized in accordance with the USDA, Natural Resources Conservation Service Standards and Specifications for Soil Erosion and Sediment Control in developing areas for critical area stabilization.
- It will be the responsibility of the Contractor or Subcontractor to notify the Engineer of any deviation from this plan. Any change made in this plan without written authorization from the Engineer will place responsibility of said change on the Contractor or the Subcontractor.

**PHASE OF CONSTRUCTION**

- CONTACT THE KENT COUNTY SEDIMENT AND EROSION CONTROL INSPECTOR AT 410-778-7437 A MINIMUM OF 2 WEEKS PRIOR TO THE START OF CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING PRIOR TO INITIATION OF ANY GRADING ACTIVITY.
- INSTALL PERIMETER SILT FENCE AT LOCATIONS SHOWN.
- STRIP THE TOPSOIL FROM THE LIMITS OF THE BUILDING PAD AND STOCKPILE ONSITE AND DISPOSE OF AT AN APPROVED OFFSITE LOCATION.
- PREPARE THE BUILDING PAD AND BEGIN BUILDING CONSTRUCTION.
- INSTALL SEWER AND WATER LATERALS.
- INSTALL PERIMETER DRAINAGE AND INLETS. PROVIDE INLET PROTECTION AND RIP RAP OUTFALL PAD.
- FINE GRADE SITE AND STABILIZE WITH TOPSOIL, SEED, AND STABILIZATION MATTING FOR ALL SLOPES 3:1 AND STEEPER. MAINTAIN PERIMETER CONTROLS.
- UPON APPROVAL FROM THE KENT COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES AND STABILIZE ALL DISTURBED AREAS PER PERMANENT STABILIZATION SPECIFICATIONS FOUND ON THIS SHEET.

**INSPECTION CHECKLIST**

THE CONTRACTOR SHALL NOTIFY THE KENT COUNTY SEDIMENT AND EROSION CONTROL INSPECTOR AT (778-7437) AT THE FOLLOWING POINTS:

- THE REQUIRED PRECONSTRUCTION MEETING.
- FOLLOWING INSTALLATION OF SEDIMENT CONTROL MEASURES.
- PRIOR TO REMOVAL OR MODIFICATION OF ANY SEDIMENT CONTROL STRUCTURE.
- PRIOR TO REMOVAL OF ALL SEDIMENT AND EROSION CONTROL DEVICES.
- PRIOR TO FINAL ACCEPTANCE.

REVIEWED FOR THE KENT SOIL AND WATER CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

KENT SOIL AND WATER CONSERVATION DISTRICT DATE \_\_\_\_\_

KENT SOIL AND WATER CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE, MODIFY OR OTHERWISE ALTER THE EROSION CONTROL PROVISIONS OF THIS PLAN IN THE EVENT ADDITIONAL PROTECTION BECOMES NECESSARY.

|   |                                 |
|---|---------------------------------|
| KENT COUNTY PLANNING AND ZONING                   | KENT COUNTY PLANNING COMMISSION |
| KENT COUNTY HEALTH DEPARTMENT APPROVING AUTHORITY | TOWN OF CHESTERTOWN UTILITIES   |

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A SELF-LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 2004099.

**DAVIS, MOORE, SHEARON & ASSOCIATES, LLC**  
ENGINEERING, DRAFTING/DESIGN, ENVIRONMENTAL SERVICES & SURVEYING  
P.O. BOX 80  
CENTREVILLE, MARYLAND 21617  
PHONE: 1-443-262-9130  
FAX: 1-443-262-9148

MARCH 27, 2024  
DATE SEAL

**DAVIS, MOORE, SHEARON & ASSOCIATES, LLC**  
ENGINEERING, DRAFTING/DESIGN, ENVIRONMENTAL SERVICES & SURVEYING  
P.O. BOX 80  
CENTREVILLE, MARYLAND 21617  
PHONE: 1-443-262-9130  
FAX: 1-443-262-9148

| DATE    | REVISION     | SEDIMENT AND EROSION CONTROL DETAILS & SPECIFICATIONS  | DATE                      | SCALE              |
|---------|--------------|--|---------------------------|--------------------|
| 3-27-24 | PER COMMENTS |  | FEBRUARY '24              | AS SHOWN           |
|         |              | FOR<br><b>GILLESPIE PRECAST OFFICE ADDITION</b><br>NEAR THE TOWN OF CHESTERTOWN<br>FOURTH ELECTION DISTRICT, KENT COUNTY, MARYLAND<br>TAX MAP - 37, GRID - 3F, PARCEL - 161<br>PREPARED FOR: BRICKYARD LAND HOLDING, LLC | JOB No.<br>2023163        | WJM                |
|         |              |  | FOLDER Ref.<br>37-2023163 | DESIGNED BY<br>KJS |
|         |              |  | SHEET No. - C-6           |                    |
|         |              |  | CADD FILE - 23163-C6      |                    |



**To:** Kent County Planning Commission  
**From:** Mark Carper, Associate Planner  
**Meeting:** April 4, 2024  
**Subject:** Camp Fairlee/ESSD-M, Inc.  
Site Plan Review – Concept (Sensory Cabin)

## Executive Summary

### REQUEST BY THE APPLICANT

The applicant is proposing to construct a 2,100 square-foot sensory cabin, a 20-foot-wide access lane, and an 8-foot-wide concrete walkway, all within the Critical Area.

### PUBLIC PROCESS

Per Article VI, Section 5.2 of the Kent County *Land Use Ordinance*, the Planning Commission shall review and approve major site plans.

### SUMMARY OF THE STAFF REPORT

The property is located at 22242 Bay Shore Road and is zoned Resource Conservation District (RCD) and Agricultural Zoning District (AZD). The property contains cottages and buildings associated with use as a camp. The proposed structures are to be located within the Critical Area/RCD portion of the property. This proposal is part of a master plan that includes a laundry facility and two additional sensory cabins, one of which is also to be in the Critical Area. The proposal has been submitted to the Critical Area Commission for review. The property has a Maryland Historical Trust Easement.

### STAFF RECOMMENDATION

In order to receive preliminary site plan approval, the applicant must address and/or submit the following outstanding items:

- Details on any signs and exterior lighting that may be included.
- Buffer enhancement plan or determination that the buffer is fully established.
- Preliminary plan for connection to public sewer and water.
- Preliminary sediment and erosion control and stormwater management plans.

PRELIMINARY STAFF REPORT

TO: Kent County Planning Commission  
SUBJECT: #24-13 – Camp Fairlee/ESSD-M, Inc.  
Concept Site Plan Review – Sensory Cabin  
DATE: March 28,2024

**DESCRIPTION OF PROPOSAL**

Camp Fairlee/ESSD-M, Inc. is proposing to construct a 2,100 square-foot sensory cabin, a 20-foot-wide access lane, and an 8-foot-wide concrete walkway, all within the Critical Area.

The property is located at 22242 Bay Shore Road and is zoned Resource Conservation District (RCD) and Agricultural Zoning District (AZD). The property contains cottages and buildings associated with use as a camp. The proposed structures are to be located within the Critical Area/RCD portion of the property. This proposal is part of a master plan that includes a laundry facility and two additional sensory cabins, one of which is also to be in the Critical Area. The proposal has been submitted to the Critical Area Commission for review. The property has a Maryland Historical Trust Easement.

**RELEVANT ISSUES**

I. Permitted Uses and Structures

- A. *Applicable Law:* Article V, Section 2.2 of the *Kent County Land Use Ordinance* establishes that camp, day or boarding, private or commercial, is a permitted use in the RCD.
- B. *Staff and TAC Comments:* The property is utilized as a camp for Easter Seals. The application has been submitted to the Critical Area Commission for review.

II. Site Plan Review

- A. *Comprehensive Plan:* “Implement thorough design review for new development and major renovations.” (Page 33)
- B. *Applicable Law:* Article VI, Section 5 of the *Kent County Land Use Ordinance* establishes site plan review procedures. The concept plan review process will review at a conceptual level, the feasibility, design, and environmental characteristics of the proposal based on the standards set forth in this Ordinance and the Comprehensive Plan. The Planning Commission shall prepare findings of fact concerning reasonable fulfillment of the objectives listed below:
  - a. Conformance with the Comprehensive Plan and, where applicable, the Village Master Plan
  - b. Conformance with the provisions of all applicable rules and regulations of county, state, and federal agencies.
  - c. Convenience and safety of both vehicular and pedestrian movement within the site and in relationship to adjoining ways and properties.
  - d. Provisions for the off-street loading and unloading of vehicles incidental to the normal operation of the establishment, adequate lighting, and internal traffic control.
  - e. Reasonable demands placed on public services and infrastructure.

- f. Adequacy of methods for sewage and refuse disposal, and the protection from pollution of both surface waters and groundwater. This includes minimizing soil erosion both during and after construction.
- g. Protection of abutting properties and County amenities from any undue disturbance caused by excessive or unreasonable noise, smoke, vapors, fumes, dust, odors, glare, stormwater runoff, etc.
- h. Minimizing the area over which existing vegetation is to be removed. Where tree removal is required, special attention shall be given to planting of replacement trees.
- i. The applicant's efforts to integrate the proposed development into the existing landscape through design features such as vegetative buffers, roadside plantings, and the retention of open space and agricultural land.
- j. The applicant's efforts to design the development to complement and enhance the rural and historic nature of the County including incorporating into the project forms and materials that reflect the traditional construction patterns of neighboring communities.
- k. The building setbacks, area, and location of parking, architectural compatibility, signage, and landscaping of the development, and how these features harmonize with the surrounding townscape and natural landscape.

C. *Staff and TAC Comments:*

- The proposal is consistent with the strategies and goals of the Comprehensive Plan.
- No details on signage or exterior lighting have been provided.
- The property is served by public water and sewer. The applicant will need to work with the Department of Public Works to connect the proposed cabin to the water and sewer system.
- The property has a Maryland Historical Trust Easement. The applicant has indicated that, pending site plan approval, the full set of exterior plans, including colors for roof and siding, will be submitted to the Maryland Historical Trust for review.
- The proposed project will create an increase of 0.21 acres (9,147.6 sq. ft.) in lot coverage in the Critical Area. A buffer enhancement plan may be required unless it is determined that the buffer is fully established. No trees will be removed.
- The proposed cabin will be reviewed as a commercial building for building code regulations.
- There are no proposed changes to site access.
- Demands on public services and infrastructure appear to be reasonable.
- An area for stormwater management has been proposed. Preliminary soil and erosion control and stormwater management plans are required for preliminary site plan review.

**STAFF RECOMMENDATION**

In order to receive preliminary site plan approval, the applicant must address and/or submit the following outstanding items:

- Details on any signs and exterior lighting that may be included.
- Buffer enhancement plan or determination that the buffer is fully established.
- Preliminary plan for connection to public sewer and water.
- Preliminary sediment and erosion control and stormwater management plans.



Davis, Moore, Shearon & Associates, LLC

March 27, 2024

Mr. Mark Carper  
Kent County Department of Planning & Zoning  
400 High Street  
Chestertown, Maryland 21620

**RE: CONCEPT PLAN FOR ONE SENSORY CABIN AT CAMP FAIRLEE ON THE  
LANDS OF ESSD-M, INC.  
KENT COUNTY TAX MAP 35, PARCEL 2  
DMS & ASSOCIATES JOB #2023164**

Dear Mark,

Attached please find two copies of revised plans for the above referenced project. The revisions are in response to the March 13, 2024 TAC comments. We offer the following:

1. We acknowledge that the plans will need to be submitted for review to the Maryland Department of Health, Center for Recreation and Community Environmental Health Services.
2. We acknowledge that SHA has no issues or concerns with this application.
3. We acknowledge that the Finance Office has no objections to this application.
4. The site statistics have been updated regarding the floor area and landscape area.
5. We acknowledge that Forest Conservation requirements are not applicable to this project.
6. We will evaluate the existing shore buffer to determine if it qualifies as fully established.
7. We acknowledge that the application will be reviewed by the Critical Area Commission.
8. The Health Department signature line has been updated.

We ask that you please review this information at your earliest convenience. If you have any questions, please feel free to contact me at 443-262-9130.

Sincerely,

DMS & Associates, LLC

A handwritten signature in blue ink, appearing to read "K. Shearon", written over a horizontal line.

Kevin J. Shearon, P.E., LEED AP

Enclosures

pc: Mr. Gene Aucott, Easterseals Camp Fairlee (via email)  
Mr. John Hutchinson, John Hutchinson Architecture (via email)

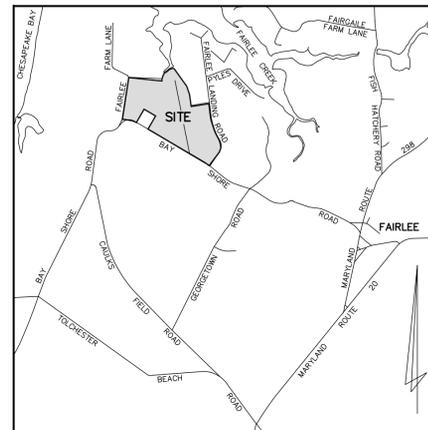
# CONCEPTUAL SITE PLAN FOR PHASE 1 CAMP FAIRLEE COTTAGES NEAR THE TOWN OF CHESTERTOWN SIXTH ELECTION DISTRICT, KENT COUNTY, MARYLAND

**SITE STATISTICS**

|   |                                 |
|---|---------------------------------|
| CURRENT USE - CAMP                                |                                 |
| PROPOSED USE - CAMP                               |                                 |
| GROSS SITE AREA                                   | = 246.64 ac.± (per SDAT)        |
| NON-CRITICAL AREA (ZONE - AG)                     | = 175.87 ac.±                   |
| CRITICAL AREA (ZONE - RCD)                        | = 70.77 ac.±                    |
| AREA WITHIN FLOODPLAIN                            | = 9.40 ac.±                     |
| FLOOR AREA (EXISTING) (0.16%)                     | = 0.398 ac.± ( 17,350 sq. ft.±) |
| FLOOR AREA (PROPOSED) (0.0%)                      | = 0.000 ac.± ( 0,000 sq. ft.±)  |
| FLOOR AREA (FUTURE) (0.02%)                       | = 0.048 ac.± ( 2,100 sq. ft.±)  |
| FLOOR AREA (TOTAL) ( 0.18%)                       | = 0.447 ac.± ( 19,450 sq. ft.±) |
| <b>NON-CRITICAL AREA CALCULATIONS (ZONE - AG)</b> |                                 |
| IMPERVIOUS AREA (EXISTING) ( 2.1%)                | = 3.68 ac.±                     |
| IMPERVIOUS AREA (TO BE REMOVED)                   | = 0.00 ac.±                     |
| IMPERVIOUS AREA (PROPOSED)                        | = 0.002 ac.±                    |
| IMPERVIOUS AREA (FUTURE)                          | = 0.062 ac.±                    |
| IMPERVIOUS AREA (TOTAL) ( 2.1%)                   | = 3.744 ac.±                    |
| <b>LANDSCAPE AREA (EXISTING) (97.9%)</b>          |                                 |
| LANDSCAPE AREA (PROVIDED) (97.9%)                 | = 172.19 ac.±                   |
| <b>CRITICAL AREA CALCULATIONS (ZONE - RCD)</b>    |                                 |
| LOT COVERAGE (ALLOWED) (15%)                      | = 10.62 ac.±                    |
| LOT COVERAGE (EXISTING) ( 4.3%)                   | = 3.06 ac.±                     |
| LOT COVERAGE (TO BE REMOVED)                      | = 0.00 ac.±                     |
| LOT COVERAGE (PROPOSED)                           | = 0.204 ac.±                    |
| LOT COVERAGE (FUTURE)                             | = 0.118 ac.±                    |
| LOT COVERAGE (RESULTING) ( 4.8%)                  | = 3.382 ac.±                    |
| <b>LANDSCAPE AREA (EXISTING) (95.7%)</b>          |                                 |
| LANDSCAPE AREA (PROVIDED) (95.2%)                 | = 67.388 ac.±                   |

**NOTES**

- PROPERTY LINE INFORMATION SHOWN HEREON IS TAKEN FROM DEED INFORMATION ONLY AND IS NOT THE RESULT OF A FIELD RUN SURVEY AT THIS TIME. GROSS AREA IS TAKEN FROM STATE DEPARTMENT OF ASSESSMENT AND TAXATION RECORDS.
- FOR DEED REFERENCE, SEE LIBER M.L.M. 163, FOLIO 514.
- CURRENT ZONING CLASSIFICATION - (AG) AGRICULTURE AND (RCD) RESOURCE CONSERVATION DISTRICT.
- THE PROPERTY IS PARTIALLY LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA DESIGNATIONS - RCA.
- SITE IS PARTIALLY LOCATED WITHIN 100 YEAR FLOODPLAIN AS SCALED FROM FLOOD INSURANCE RATE MAP COMMUNITY PANEL No. 24029C0281D AND 24029C0225D. (ZONE "AE") (ELEV. 6). EFFECTIVE DATE JUNE 9, 2014.
- SOILS SHOWN HEREON ARE SCALED FROM THE WEBSITE: <http://websoilsurvey.nrcs.usda.gov>.
- FOREST SHOWN HEREON ARE SCALED FROM ORTHO IMAGERY FLOWN IN THE FALL OF 2019 AND VERIFIED BY A SITE VISIT.
- EXISTING CONTOURS WITHIN THE DEVELOPMENT AREA ARE TAKEN PREVIOUS SURVEYS. VERTICAL DATUM IS NAVD 88.
- PUBLIC SEWER WILL BE UTILIZED FOR SEWAGE DISPOSAL AND PUBLIC WATER WILL BE UTILIZED FOR POTABLE WATER SUPPLY.



**VICINITY MAP**  
SCALE 1" = 4000'

**FOREST STATISTICS**

|                                 |               |
|---------------------------------|---------------|
| GROSS SITE AREA                 | = 246.64 ac.± |
| FOREST (29.2%)                  | = 72.00 ac.±  |
| FOREST WITHIN NON-CRITICAL AREA | = 38.60 ac.±  |
| FOREST WITHIN CRITICAL AREA     | = 33.40 ac.±  |
| <b>ZONE (AG)</b>                |               |
| FOREST (21.9%)                  | = 175.87 ac.± |
| FOREST TO BE REMOVED            | = 0.00 ac.±   |
| FOREST TO BE RETAINED           | = 38.60 ac.±  |
| <b>ZONE (RCD)</b>               |               |
| FOREST (47.2%)                  | = 70.77 ac.±  |
| FOREST TO BE REMOVED            | = 0.00 ac.±   |
| FOREST TO BE RETAINED           | = 33.40 ac.±  |

**GENERAL NOTES**

- These drawings show information obtained from the best available records regarding pipes, conduits, telephone lines, and other structures and conditions which exist along the lines of the work both at and below the surface of the ground. The owner and engineer disclaim any responsibilities for the accuracy or completeness of said information being shown only for the convenience of the contractor, who must verify the information to his own satisfaction. If the contractor relies on said information, he does so at his own risk. The giving of the information on the contract drawings will not relieve the contractor of his obligations to support and protect all pipes, conduits, telephone lines, and other structures.
- The contractor shall notify the following two (2) weeks prior to the start of construction and shall coordinate construction with the utility companies involved:  
Delmarva Power & Light Company ----- 1-800-375-7117  
Miss Utility ----- 1-800-441-8355  
DMS & Associates, LLC ----- 1-443-262-9130  
Kent County Dept. Public Works ----- 1-410-778-7439  
Kent Co. Sediment & Erosion Control Inspector - 1-410-778-7423  
Kent Co. Dept. of Water & Wastewater-----1-410-778-3287  
Maryland Department of the Environment-----1-410-531-3510
- All construction shall be marked for traffic and pedestrian safety.
- The Contractor shall provide all equipment, labor, and materials for any miscellaneous or test pit excavations required by the Engineer.
- The owner is responsible for the acquisition of all easements, both permanent and temporary.
- The Contractor assumes all responsibility for any deviations from these plans unless said deviation is approved by the Engineer. Contractor shall receive written permission from the Engineer if a deviation of the plans is necessary.
- All disturbed areas shall be smoothly graded to provide positive drainage in the direction of flow arrows herein and stabilized with topsoil, seed, and mulch. If settlement occurs, topsoil, seeding, and mulching shall be repeated until settlement subsides (See Erosion and Sediment Control Specifications).
- All trash, trees, and underbrush are to be cleared and removed off site to an approved dump site by the contractor.
- Any excess excavated material shall be removed off site by the contractor or material shall be placed on site as directed by the Engineer and/or Owner.
- Any existing survey monumentation that is disturbed during construction shall be replaced by a registered surveyor at the contractor's expense.
- The Contractor shall conduct his work in easements so that there will be a minimum of disturbance of the properties crossed. Any disturbed areas shall be restored to its original condition.
- All materials and methods of construction shall conform to the drawings, specifications, local building codes, and the standard specifications and details of Kent County.
- All drainage structures and swales shall remain functional during construction unless otherwise indicated on the plans.
- All water valves, boxes and hydrants shall be set and adjusted to finish grade.
- Wherever sewer or water mains or services run parallel to each other, a minimum horizontal separation of 10' shall be provided.
- Minimum cover over the sewer main shall be 42".
- All concrete used for utility work shall be in accordance with MD SHA Standards and Specifications for Mix No. 2.
- All paving materials and methods shall be in accordance with the latest MD SHA Standards and Specifications and be supplied by a State Certified plant.
- Trenches shall not remain open overnight. If it is necessary for trenches to remain open, steel plates capable of bearing traffic shall be used to completely cover the trench openings.
- Erosion and Sediment Control will be strictly enforced by the Kent County Sediment and Erosion Control Inspector.

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| SHEET C-1 | - TITLE SHEET                  |
| SHEET C-2 | - OVERALL CONCEPTUAL SITE PLAN |
| SHEET C-3 | - CONCEPTUAL SITE PLAN         |

**OWNER/DEVELOPER:**

ESSD-M, INC. (EASTERSEALS CAMP FAIRLEE)  
c/o GENE AUCOTT  
61 CORPORATE CIRCLE  
NEW CASTLE, DELAWARE 19720  
PHONE No. 1-302-221-2016

**SURVEYOR**

MICHAEL A. SCOTT, INC.  
c/o MIKE SCOTT  
400 S. CROSS STREET  
CHESTERTOWN, MARYLAND 21620  
PHONE No. 1-410-778-2310

**ENGINEER**

DMS & ASSOCIATES, LLC  
c/o KEVIN J. SHEARON, PE LEED AP  
P.O. BOX 80  
CENTREVILLE, MARYLAND 21617  
PHONE No. 1-443-262-9130

**STATEMENT OF PURPOSE AND INTENT**

THE SITE IS LOCATED ON THE NORTH SIDE OF BAY SHORE ROAD AND WEST OF FAIRLEE LANDING ROAD NEAR THE VILLAGE OF FAIRLEE, MARYLAND. THE SITE IS THE LOCATION OF EASTER SEALS CAMP FAIRLEE. THE INTENT OF THIS CONCEPTUAL SITE PLAN IS TO PROVIDE ONE (1) NEW COTTAGE IN THE CRITICAL AREA (ZONE - RCD) AND PROVIDE ONE (1) ADDITIONAL COTTAGE IN THE NON-CRITICAL AREA (ZONE - AZD). TWO (2) EMPLOYEE HOUSES IN THE NON-CRITICAL AREA (ZONE - AZD) WERE APPROVED IN NOVEMBER, 2023 AND ARE CURRENTLY CONSTRUCTION.

THE PURPOSE OF THIS CONCEPTUAL SITE PLAN IS TO OBTAIN APPROVAL FROM THE KENT COUNTY PLANNING COMMISSION FOR THE PROPOSED IMPROVEMENTS ON THE SITE.

REVIEWED FOR THE KENT SOIL AND WATER CONSERVATION DISTRICT AND MEET TECHNICAL REQUIREMENTS

APPROVED: \_\_\_\_\_ DATE \_\_\_\_\_

KENT SOIL AND WATER CONSERVATION DISTRICT

NOTE: KENT SOIL AND WATER CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE, MODIFY OR OTHERWISE ALTER THE EROSION CONTROL PROVISIONS OF THIS PLAN IN THE EVENT ADDITIONAL PROTECTION BECOMES NECESSARY.

DEVELOPERS CERTIFICATION

I (WE) CERTIFY THAT:

- ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THIS SEDIMENT AND EROSION CONTROL PLAN AND/OR STORMWATER MANAGEMENT PLAN, AND FURTHER, AUTHORIZED THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY THE KENT SOIL AND WATER CONSERVATION DISTRICT SEDIMENT CONTROL INSPECTOR OR MARYLAND DEPARTMENT OF THE ENVIRONMENT.
- ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT THE DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT.
- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR OR SUBCONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THIS PLAN. ANY CHANGE MADE IN THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL PLACE RESPONSIBILITY FOR SAID CHANGE ON THE CONTRACTOR OR SUBCONTRACTOR.

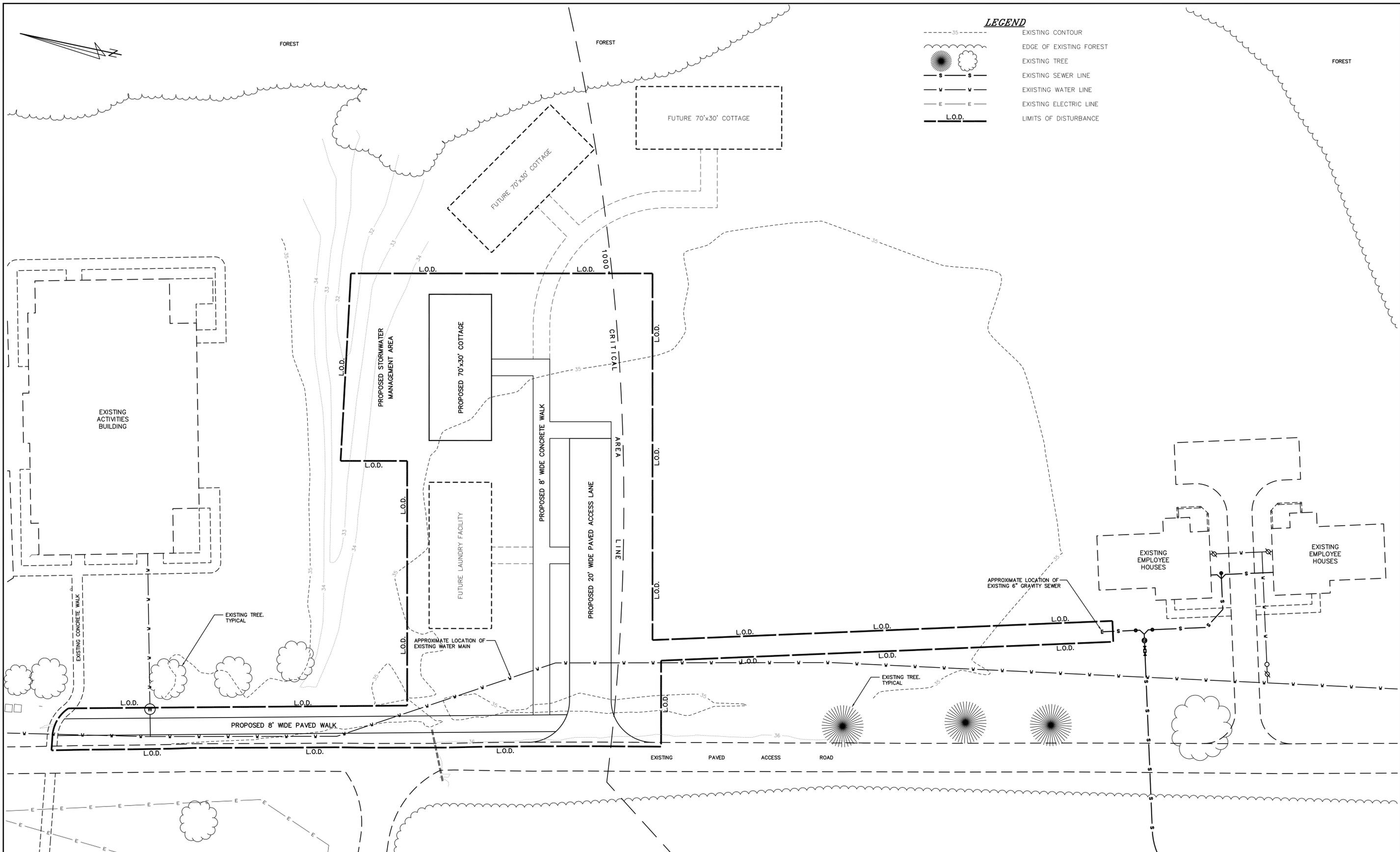
SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

ADDRESS \_\_\_\_\_ CARD No. \_\_\_\_\_

PHONE No. \_\_\_\_\_

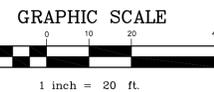
| KENT COUNTY DEPARTMENT OF PLANNING AND ZONING | KENT COUNTY DEPARTMENT OF PUBLIC WORKS |  | <b>DAVIS, MOORE, SHEARON &amp; ASSOCIATES, LLC</b><br>ENGINEERING, DRAFTING/DESIGN,<br>ENVIRONMENTAL SERVICES & SURVEYING<br>P.O. BOX 80<br>CENTREVILLE, MARYLAND 21617<br>PHONE : 1-443-262-9130<br>FAX : 1-443-262-9148 | <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>DATE</th> <th>REVISION</th> </tr> <tr> <td>3-21-24</td> <td>PER TAC COMMENTS</td> </tr> <tr> <td>3-27-24</td> <td>PER COMMENTS</td> </tr> <tr> <td> </td> <td> </td> </tr> </table> | DATE | REVISION | 3-21-24 | PER TAC COMMENTS | 3-27-24 | PER COMMENTS |  |  |  |  |  |  |  |  |  |  |  |  |  |  | <b>TITLE SHEET</b><br>FOR PHASE 1<br><b>CAMP FAIRLEE COTTAGES</b><br>NEAR THE TOWN OF CHESTERTOWN<br>TAX MAP - 35, GRID - 2D, PARCEL - 2<br>SIXTH ELECTION DISTRICT, KENT COUNTY, MARYLAND<br>PREPARED FOR : ESSD-M, INC. | <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>DATE</th> <th>SCALE</th> </tr> <tr> <td>FEBRUARY '24</td> <td>AS SHOWN</td> </tr> <tr> <td>JOB No.</td> <td>DRAWN BY</td> </tr> <tr> <td>2023164</td> <td>WJM</td> </tr> <tr> <td>FOLDER Ref.</td> <td>DESIGNED BY</td> </tr> <tr> <td>35-2023164</td> <td>KJS</td> </tr> <tr> <td>SHEET No. -</td> <td>C-1</td> </tr> <tr> <td>CADD FILE -</td> <td>22168C01</td> </tr> </table> | DATE | SCALE | FEBRUARY '24 | AS SHOWN | JOB No. | DRAWN BY | 2023164 | WJM | FOLDER Ref. | DESIGNED BY | 35-2023164 | KJS | SHEET No. - | C-1 | CADD FILE - | 22168C01 |
|---|--|--|---|---|------|----------|---------|------------------|---------|--------------|--|--|--|--|--|--|--|--|--|--|--|--|--|--|---|---|------|-------|--------------|----------|---------|----------|---------|-----|-------------|-------------|------------|-----|-------------|-----|-------------|----------|
| DATE  | REVISION                               |  |   |   |      |          |         |                  |         |              |  |  |  |  |  |  |  |  |  |  |  |  |  |  |   |   |      |       |              |          |         |          |         |     |             |             |            |     |             |     |             |          |
| 3-21-24                                       | PER TAC COMMENTS                       |  |   |   |      |          |         |                  |         |              |  |  |  |  |  |  |  |  |  |  |  |  |  |  |   |   |      |       |              |          |         |          |         |     |             |             |            |     |             |     |             |          |
| 3-27-24                                       | PER COMMENTS                           |  |   |   |      |          |         |                  |         |              |  |  |  |  |  |  |  |  |  |  |  |  |  |  |   |   |      |       |              |          |         |          |         |     |             |             |            |     |             |     |             |          |
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|   |  |  |   |   |      |          |         |                  |         |              |  |  |  |  |  |  |  |  |  |  |  |  |  |  |   |   |      |       |              |          |         |          |         |     |             |             |            |     |             |     |             |          |
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| DATE  | SCALE                                  |  |   |   |      |          |         |                  |         |              |  |  |  |  |  |  |  |  |  |  |  |  |  |  |   |   |      |       |              |          |         |          |         |     |             |             |            |     |             |     |             |          |
| FEBRUARY '24                                  | AS SHOWN                               |  |   |   |      |          |         |                  |         |              |  |  |  |  |  |  |  |  |  |  |  |  |  |  |   |   |      |       |              |          |         |          |         |     |             |             |            |     |             |     |             |          |
| JOB No.                                       | DRAWN BY                               |  |   |   |      |          |         |                  |         |              |  |  |  |  |  |  |  |  |  |  |  |  |  |  |   |   |      |       |              |          |         |          |         |     |             |             |            |     |             |     |             |          |
| 2023164                                       | WJM                                    |  |   |   |      |          |         |                  |         |              |  |  |  |  |  |  |  |  |  |  |  |  |  |  |   |   |      |       |              |          |         |          |         |     |             |             |            |     |             |     |             |          |
| FOLDER Ref.                                   | DESIGNED BY                            |  |   |   |      |          |         |                  |         |              |  |  |  |  |  |  |  |  |  |  |  |  |  |  |   |   |      |       |              |          |         |          |         |     |             |             |            |     |             |     |             |          |
| 35-2023164                                    | KJS                                    |  |   |   |      |          |         |                  |         |              |  |  |  |  |  |  |  |  |  |  |  |  |  |  |   |   |      |       |              |          |         |          |         |     |             |             |            |     |             |     |             |          |
| SHEET No. -                                   | C-1                                    |  |   |   |      |          |         |                  |         |              |  |  |  |  |  |  |  |  |  |  |  |  |  |  |   |   |      |       |              |          |         |          |         |     |             |             |            |     |             |     |             |          |
| CADD FILE -                                   | 22168C01                               |  |   |   |      |          |         |                  |         |              |  |  |  |  |  |  |  |  |  |  |  |  |  |  |   |   |      |       |              |          |         |          |         |     |             |             |            |     |             |     |             |          |





**LEGEND**

- - - - 35 - - - - EXISTING CONTOUR
- ☼ ☼ EDGE OF EXISTING FOREST
- ☼ ☼ EXISTING TREE
- - - - S - - - - EXISTING SEWER LINE
- - - - W - - - - EXISTING WATER LINE
- - - - E - - - - EXISTING ELECTRIC LINE
- L.O.D. — LIMITS OF DISTURBANCE



REVIEWED FOR THE KENT SOIL AND WATER CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

KENT SOIL AND WATER CONSERVATION DISTRICT \_\_\_\_\_ DATE \_\_\_\_\_

KENT SOIL AND WATER CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE, MODIFY OR OTHERWISE ALTER THE EROSION CONTROL PROVISIONS OF THIS PLAN IN THE EVENT ADDITIONAL PROTECTION BECOMES NECESSARY.

KENT COUNTY DEPARTMENT OF PLANNING AND ZONING \_\_\_\_\_

KENT COUNTY DEPARTMENT OF PUBLIC WORKS \_\_\_\_\_

KENT COUNTY HEALTH DEPARTMENT APPROVING AUTHORITY \_\_\_\_\_

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 2004099



MARCH 27, 2024  
DATE SEAL

**DAVIS, MOORE, SHEARON & ASSOCIATES, LLC**  
ENGINEERING, DRAFTING/DESIGN, ENVIRONMENTAL SERVICES & SURVEYING  
P.O. BOX 80  
CENTREVILLE, MARYLAND 21617  
PHONE : 1-443-262-9130  
FAX : 1-443-262-9148

| DATE    | REVISION         |
|---------|------------------|
| 3-21-24 | PER TAC COMMENTS |
| 3-27-24 | PER COMMENTS     |
|         |                  |
|         |                  |
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CONCEPTUAL SITE PLAN  
FOR PHASE 1  
**CAMP FAIRLEE COTTAGES**  
NEAR THE TOWN OF CHESTERTOWN  
TAX MAP - 35, GRID - 2D, PARCEL - 2  
SIXTH ELECTION DISTRICT, KENT COUNTY, MARYLAND  
PREPARED FOR : ESSD-M, INC.

| DATE                   | SCALE           |
|------------------------|-----------------|
| FEBRUARY '24           | 1" = 20'        |
| JOB No. 2023164        | DRAWN BY WJM    |
| FOLDER Ref. 35-2023164 | DESIGNED BY KJS |
| SHEET No. - C-3        |                 |
| CADD FILE - 23164CP3   |                 |





TO: Kent County Planning Commission  
FROM: Carla Gerber, Deputy Director  
MEETING: April 4, 2024  
SUBJECT: KNR, Inc, – Concept Site Plan –Convenience Store/Deli

## Executive Summary

### Request by Applicant

Kevin Shearon, on behalf of Mr. Sunny Datta, KNR, Inc, is requesting concept site plan review for the construction of a convenience store and deli at 10816 Worton Road, Worton.

### Public Process

Per Maryland State Law and Article VI, Section 5 of the Kent County *Land Use Ordinance* the Planning Commission shall review and approve Major Site Plans.

### Summary of Staff Report

Mr. Datta is proposing to construct a convenience store and deli on his 0.401-acre parcel located at the southwest corner of the intersection of Worton Road and Porters Grove Road. The proposed store will be 2,960 square feet and there will be 15 parking spaces. The parcel is zoned Village (V), and the surrounding area is a mix of residential and agricultural uses.

### Recommendation

While no votes are taken on concept site plans, it would be helpful to give guidance to the applicant on 1) the building location as it relates to Worton Road; 2) waiving the requirement for a separate loading/unloading space; 3) allowing parking spaces to extend into the front yard setback of the side street of a corner lot; 4) whether or not a bike rack should be included; and 5) any thoughts for what might be appropriate landscaping.

In order to grant preliminary and final approval, the following items need to be completed or submitted:

- Approval of sediment control and stormwater management plans
- Details of proposed landscaping, lighting, signs, and outdoor sales
- Submission of required sureties for sediment control, stormwater management, and landscaping

## PRELIMINARY STAFF REPORT

TO: Kent County Planning Commission  
SUBJECT: KNR, Inc, – Concept Site Plan –Convenience Store/Deli  
DATE: March 29, 2024

### DESCRIPTION OF PROPOSAL

Kevin Shearon, on behalf of Mr. Sunny Datta, KNR, Inc, is requesting concept site plan review for the construction of a convenience store and deli at 10816 Worton Road, Worton. The 0.401-acre parcel is located at the southwest corner of the intersection of Worton Road and Porters Grove Road. The proposed store will be 2,960 square feet and there will be 15 parking spaces. The parcel is zoned Village (V), and the surrounding area is a mix of residential and agricultural uses.

### Relevant Issues

#### I. Uses

- A. *Comprehensive Plan*: Promote development of small locally owned businesses. Page 10
- B. *Applicable Law*: Article V, Section 7.2, #16 of the Kent County Land Use Ordinance permits: Neighborhood retail businesses which supply household commodities on the premises such as groceries, meats, dairy products, baked goods, or other foods, drugs, notions, flowers or hardware. All retail sales shall be conducted entirely within a building, except where otherwise approved by the Planning Commission. Other uses and structures which meet the criteria specified above may be approved by the Zoning Administrator. Neighborhood retail businesses shall require a site plan.
- C. *Staff and TAC Comments*: The applicant is proposing a convenience store and deli. He is aware that outdoor sales such as ice coolers, propane tank cages, etc., will need to be shown on the site plan and approved by the Planning Commission.

#### II. Density, Area, Height, Width and Yard Requirements

- A. *Applicable Law*: Article V, Section 7.5 of the Kent County Land Use Ordinance establishes the yard and setback requirements.
- B. *Staff and TAC Comments*: The proposed building meets the setback requirements.

#### III. District Environmental Standards

- A. *Applicable Law*: Article V, Section 7.7 in the Kent County Land Use Ordinance establishes the Village Environmental Design Standards, which include forest conservation and stormwater standards. The purpose of these standards is to provide for the proper stewardship of the County's natural resources. Specifically, it is the overall goal of the County to maintain the quality of the County's ecosystem in the face of continuing activity, growth and change.
- B. *Staff and TAC Comments*:  
The project is exempt from Forest Conservation as an activity on a previously developed area covered by impervious surface and located in a Priority Funding Area. Conceptual stormwater and sediment and erosion control plans have been submitted. Estimates and sureties, along with approved plans, will be required for final site plan approval.

#### IV. District Design Standards.

A. *Applicable Law:* Article V, Section 7.8 of the Land Use Ordinance establishes the General Village Design Standards which address site access, parking, lighting, and landscaping.

B. *Staff and TAC Comments:*

**Building Arrangement and Site Design:** Principal buildings should generally be within 40 feet and no closer than 20 feet to the front line unless there are substantial counterbalancing considerations. Worton Road is considered the technical front yard, and the proposed building is setback over 130 feet from Worton. However, the property is unique in that there is a railroad “restricted area” easement that prevents obstructions for a significant part of the parcel near Worton Road. Staff considers the proposed location of the building to be consistent with the spirit and intent of the Ordinance.

**Parking Areas:** The Ordinance specifically prohibits locating parking lots between the front property line and the primary building. Based on the definition of corner lots, Worton Road is the technical front yard and parking is located between the building and Worton Road. However, corner lots have two front yards. The entrance to the parking lot is from Porters Grove Road and the majority of the parking lot is located behind the setback line. Given the unique size and shape of the parcel and the “restricted area” easement, staff would recommend that the parking be allowed as proposed.

**Delivery Trucks and Trash Collection:** The Ordinance directs that loading and unloading spaces should not block major pedestrian ways or create blind spots and trash boxes should be accessible when all parking spaces are filled. There is a loading/unloading space along the side of the building, within the front yard setback, along Porters Grove Road. The citizens who attended the Citizen Participation Meeting raised concerns about this pull off area. The applicant is requesting that the loading/unloading space be eliminated and that the parking lot be utilized for deliveries. The trash box is accessible, although emptying the trash box may temporarily block parking spaces.

**Landscaping:** The landscape plan is still being developed. A minimum of 15% of the site is to be landscaped. The front yard shall be landscaped and maintained in a neat and attractive condition. Additional plantings will be located behind the store. The applicant will evaluate the health of the existing trees and try to save as many as possible. A stormwater management area, which will likely involve landscaping, is shown at the corner. The “restricted area” easement will influence how much and what type of landscaping may be located within it.

#### V. Parking Requirements

A. *Applicable Law:* Article VI, Section 1.3 of the Kent County *Land Use Ordinance* establishes the parking standards. Retail stores require 1 space per 200 square feet of gross floor area.

B. *Staff and TAC Comments:* The site plan has 15 regular parking spaces and 1 ADA accessible space which meets the requirement. A bike isn’t shown on the plans but may be appropriate to include.

#### VI. Building design

A. *Applicable Law:* Article V, Section 7.8.C, #11 of the Land Use Ordinance establishes standards for building mass, size, and scale.

B. *Staff and TAC Comments:* Building elevations have been submitted and they appear to comply with the standards.

## VI. Site Plan Review

- A. *Comprehensive Plan*: “Implement thorough design review for new development and major renovations.” (Page 33)
- B. *Applicable Law*: Article VI, Section 5.3 of the Kent County *Land Use Ordinance* establishes site plan review procedures. The Planning Commission shall prepare findings of fact concerning the reasonable fulfillment of the objectives listed below.
- a. Conformance with the Comprehensive Plan and, where applicable, the Village Master Plan.
  - b. Conformance with the provisions of all applicable rules and regulations of county, state, and federal agencies.
  - c. Convenience and safety of both vehicular and pedestrian movement within the site and in relationship to adjoining ways and properties.
  - d. Provisions for the off-street loading and unloading of vehicles incidental to the normal operation of the establishment, adequate lighting, and internal traffic control.
  - e. Reasonable demands placed on public services and infrastructure.
  - f. Adequacy of methods for sewage and refuse disposal, and the protection from pollution of both surface waters and groundwater. This includes minimizing soil erosion both during and after construction.
  - g. Protection of abutting properties and County amenities from any undue disturbance caused by excessive or unreasonable noise, smoke, vapors, fumes, dust, odors, glare, stormwater runoff, etc.
  - h. Minimizing the area over which existing vegetation is to be removed. Where tree removal is required, special attention shall be given to planting of replacement trees.
  - i. The applicant’s efforts to integrate the proposed development into the existing landscape through design features such as vegetative buffers, roadside plantings, and the retention of open space and agricultural land.
  - j. The applicant’s efforts to design the development to complement and enhance the rural and historic nature of the County including incorporating into the project forms and materials that reflect the traditional construction patterns of neighboring communities.
  - k. The building setbacks, area, and location of parking, architectural compatibility, signage, and landscaping of the development, and how these features harmonize with the surrounding townscape and the natural landscape.
- C. *Staff and TAC Comments*:
- The proposal is consistent with strategies and goals of the Comprehensive Plan.
  - The property is served by public water and sewer.
  - Conceptual stormwater management and erosion and sediment control plans have been submitted for review.
  - The number of parking spaces meets the minimum required.
  - Reasonable demands will be placed on public services and infrastructure.
  - Proposed building elevations have been submitted.
  - No information on any proposed lighting or signs has been submitted.
  - A plan review for a food service facility will need to be obtained and approved by the Kent County Health Department.
  - The proposed building complies with the setback requirements.
  - A citizen participation meeting was held and the report is included in the applicant’s materials.

## **Staff Recommendation**

While no votes are taken on concept site plans, it would be helpful to give guidance to the applicant on 1) the building location as it relates to Worton Road; 2) waiving the requirement for a separate loading/unloading space; 3) allowing parking spaces to extend into the front yard setback of the side street of a corner lot; 4) whether or not a bike rack should be included; and 5) any thoughts for what might be appropriate landscaping.

In order to grant preliminary and final approval, the following items need to be completed or submitted:

- Approval of sediment control and stormwater management plans
- Details of proposed landscaping, lighting, signs, and outdoor sales
- Submission of required sureties for sediment control, stormwater management, and landscaping



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Davis, Moore, Shearon & Associates, LLC

February 27, 2024

Mr. William Mackey, Planning Director  
Kent County Department of Planning & Zoning  
400 High Street  
Chestertown, Maryland 21620

**RE: CONCEPT PLAN FOR A NEW CONVENIENCE STORE / DELI ON THE  
LANDS OF KNR, INC., 10816 WORTON, ROAD, WORTON, MARYLAND  
KENT COUNTY TAX MAP 28, PARCEL 167  
DMS & ASSOCIATES JOB #2022049**

Dear Mr. Mackey,

Attached please find two (2) copies of revised plans for the above reference project. The revisions are in response to the comments in the December 13, 2024 TAC letter. We offer the following:

1. We acknowledge that the Department of Public Works has no comments on this application.
2. We acknowledge that the food service will need to be review and approved by the Kent County Health Department.
3. As the plans for the store develop, any outdoor sales such as ice coolers, propane tank cages, etc. will be identified. If any are proposed, we will request approval from the Planning Commission.
4. We acknowledge that the site is exempt from Forest Conservation requirements.
5. The building has been set back from Worton Road in light of the "Restricted Area" easement placed on the property by the adjacent railroad owner. Attached is a copy of the recorded easement which states that "no vegetation shall be permitted to grow and no buildings or other obstructions of any kind whatsoever shall be erected or permitted to be erected...so there will always be a clear and unobstructed view across the whole...".
6. As stated above, the front of the property must remain unobstructed. We request relief from the strict application of the code in this situation.
7. The plan provides for a pull off area along Porters Grove Road for delivery vehicles. However, based on feedback from the Citizens Participation meeting, we request that the delivery space be eliminated and the parking lot utilized for deliveries. Given the small scale of the store, the deliveries will be from smaller trucks with short stops.
8. Although the trash truck could temporarily block some parking spaces, it is a very quick movement and would likely be scheduled after normal business hours.
9. A landscape plan will be developed keeping in mind the restrictions associated with the "Restricted Area" easement.

10. We acknowledge that the proposed building appears to meet the requirements of building, mass, size and scale.
11. Attached please find a Citizens Participation Meeting report letter.
12. An area for stormwater management has been shown on the concept plan.
13. Signage will be included in subsequent site plan submittals.
14. Additional plantings behind the store will be proposed on the subject site.
15. We will evaluate the health of the existing trees on site and save as many as possible.

We ask that you please review this information and request that this plan be placed on the next available T.A.C. agenda for review. If you have questions please contact me at 443-262-9130.

Sincerely,

DMS & Associates, LLC



Kevin J. Shearon, P.E., LEED AP

Enclosures

pc: Mr. Sunny Datta, KNR, Inc. (via email)



Davis, Moore, Shearon & Associates, LLC

February 27, 2024

Mr. William Mackey, Planning Director  
Kent County Department of Planning & Zoning  
400 High Street  
Chestertown, Maryland 21620

**RE: CITIZENS PARTICIPATION REPORT FOR A NEW CONVENIENCE STORE / DELI  
ON THE LANDS OF KNR, INC., 10816 WORTON, ROAD, WORTON, MD  
KENT COUNTY TAX MAP 28, PARCEL 167  
DMS & ASSOCIATES JOB #2022049**

Dear Mr. Mackey:

This letter is to inform you of the results from the community outreach for the above referenced project. An informational open house meeting was held on Thursday, February 15, 2024, at the Kent County Community Center in Worton, Maryland between 6:00 pm and 6:30 pm. Attached is a list of the attendees to the meeting.

Eight neighbors attended the meeting. They were generally in favor of the project with concerns primarily focused on the following:

- Requested landscape screening be added behind the building.
- Felt the dedicated delivery space parallel to Porters Grove Road was dangerous and suggested deliveries be made in the parking lot area.
- Voiced concerns about the amount of existing drainage comes down Porters Grove Road toward the intersection with Worton Road.
- Noted concerns about traffic and speeds along Worton Road and Porters Grove Road.

Attached is a list of the property owners that were notified by mail as well as a copy of the letter. An 11"x17" copy of the overall site plan accompanied the letters.

Please review this information at your earliest convenience. If you have questions, please feel free to contact me at 443-262-9130.

Sincerely,

DMS & Associates, LLC

A handwritten signature in blue ink, appearing to read "K. Shearon", is written over a blue horizontal line. Below the signature, the name "Kevin J. Shearon, P.E., LEED AP" is printed in black text.

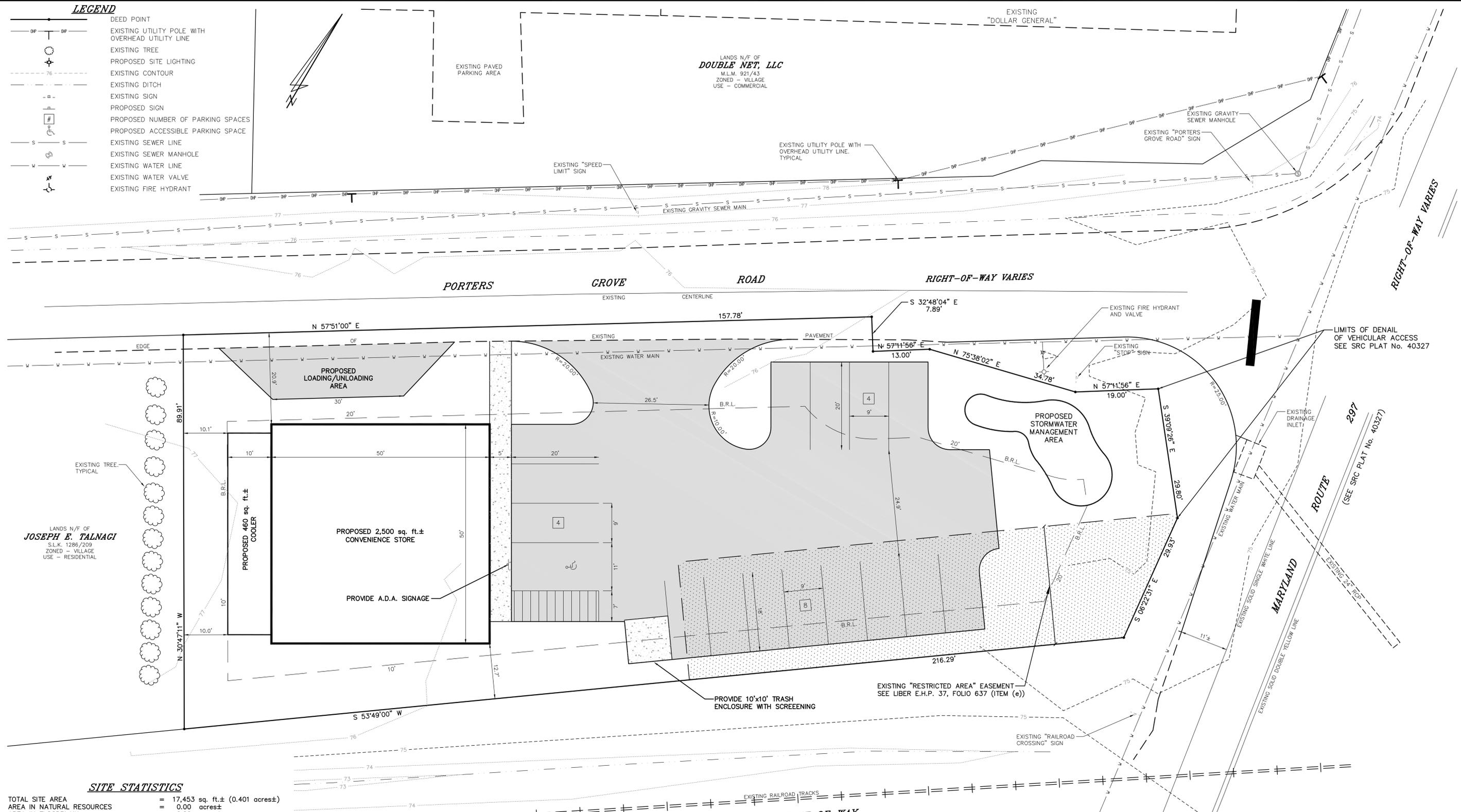
Kevin J. Shearon, P.E., LEED AP

Enclosures



**LEGEND**

- DP — DP — DEED POINT
- OP — OP — EXISTING UTILITY POLE WITH OVERHEAD UTILITY LINE
- — EXISTING TREE
- ⊕ — PROPOSED SITE LIGHTING
- - - 76 - - - EXISTING CONTOUR
- - - EXISTING DITCH
- a - EXISTING SIGN
- # — PROPOSED SIGN
- # — PROPOSED NUMBER OF PARKING SPACES
- # — PROPOSED ACCESSIBLE PARKING SPACE
- S — S — EXISTING SEWER LINE
- ⊙ — EXISTING SEWER MANHOLE
- W — W — EXISTING WATER LINE
- ⊕ — EXISTING WATER VALVE
- ⊕ — EXISTING FIRE HYDRANT

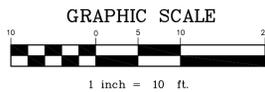


**SITE STATISTICS**

|                                    |   |                                |
|------------------------------------|---|--------------------------------|
| TOTAL SITE AREA                    | = | 17,453 sq. ft.± (0.401 acres±) |
| AREA IN NATURAL RESOURCES          | = | 0.00 acres±                    |
| AREA IN FLOODPLAIN                 | = | 0.00 acres±                    |
| FLOOR AREA (EXISTING) (16.5%)      | = | 0,000 sq. ft.± (0.000 acres±)  |
| FLOOR AREA (TO BE REMOVED)         | = | 0,000 sq. ft.± (0.000 acres±)  |
| FLOOR AREA (PROPOSED)              | = | 2,960 sq. ft.± (0.068 acres±)  |
| FLOOR AREA (TOTAL) (17.0%)         | = | 2,960 sq. ft.± (0.068 acres±)  |
| IMPERVIOUS AREA (EXISTING) (46.0%) | = | 8,035 sq. ft.± (0.184 acres±)  |
| IMPERVIOUS AREA (TO BE REMOVED)    | = | 7,446 sq. ft.± (0.171 acres±)  |
| IMPERVIOUS AREA (PROPOSED)         | = | 10,494 sq. ft.± (0.241 acres±) |
| IMPERVIOUS AREA (TOTAL) (63.5%)    | = | 11,083 sq. ft.± (0.254 acres±) |
| LANDSCAPE AREA (EXISTING) (54.0%)  | = | 9,418 sq. ft.± (0.216 acres±)  |
| LANDSCAPE AREA (PROVIDED) (36.5%)  | = | 6,370 sq. ft.± (0.146 acres±)  |

**PARKING REQUIREMENTS**

RETAIL or WHOLESALE STORE:  
 1 space/200 sq. ft. FLOOR AREA X 2,960 sq. ft. = 15 SPACES  
 PARKING SPACES (REQUIRED) = 15 SPACES (1 ACCESSIBLE)  
 PARKING SPACES (PROVIDED) = 16 SPACES (1 ACCESSIBLE)



PROVIDE CONCRETE CONCRETE/PAD. TYPICAL WHERE SHOWN

PAVEMENT SHOWN SHALL BE 3" OF MILLINGS ON 6" OF CR-6 ON COMPACTED SUBGRADE. SUBGRADE AND CR-6 ARE TO BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.

REVIEWED FOR THE KENT SOIL AND WATER CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

KENT SOIL AND WATER CONSERVATION DISTRICT DATE: \_\_\_\_\_  
 KENT SOIL AND WATER CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE, MODIFY OR OTHERWISE ALTER THE EROSION CONTROL PROVISIONS OF THIS PLAN IN THE EVENT ADDITIONAL PROTECTION BECOMES NECESSARY.

KENT COUNTY DEPARTMENT OF PLANNING AND ZONING

KENT COUNTY DEPARTMENT OF PUBLIC WORKS

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE JURISDICTION OF THE STATE OF MARYLAND, LICENSE No. 2004690, AND MY EXPIRATION DATE: 9-2-25

STATE OF MARYLAND  
 PROFESSIONAL ENGINEER  
 DATE: NOVEMBER 29, 2023

**DAVIS, MOORE, SHEARON & ASSOCIATES, LLC**  
 ENGINEERING, DRAFTING/DESIGN, ENVIRONMENTAL SERVICES & SURVEYING  
 P.O. BOX 80  
 CENTREVILLE, MARYLAND 21617  
 PHONE : 1-443-262-9130  
 FAX : 1-443-262-9148

| DATE | REVISION |
|------|----------|
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|      |          |

CONCEPTUAL SITE PLAN  
 ON THE LANDS OF **KNR, INC.**  
 IN THE VILLAGE OF WORTON  
 TAX MAP - 28, GRID - 1B, PARCEL - 167  
 THIRD ELECTION DISTRICT, KENT COUNTY, MARYLAND  
 PREPARED FOR : SUNNY DATTA

| DATE                   | SCALE           |
|------------------------|-----------------|
| OCTOBER '23            | 1" = 10'        |
| JOB No. 2022049        | DRAWN BY WJM    |
| FOLDER Ref. 28-2022049 | DESIGNED BY KJS |
| SHEET No. - C-2        |                 |
| CADD FILE - 22049-C2   |                 |





